



**CITY OF MIDDLETOWN
PLANNING BOARD MEETING AGENDA
APRIL 1, 2026 - 7:00 PM**

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. APPROVAL OF MINUTES

3.1. Accept the Minutes of March 4, 2026

4. NEW BUSINESS

Lead Agency and Negative Declaration for Promenade Middletown LLC, for the addition of a memory care unit to an existing adult care facility located at 60-78 Fulton Street

Request of Dreamfields, Inc., for a special use permit and site plan approval for manufacturing and distribution of cannabis products, located at 55 Midland Avenue Extension

Request of Nasir J. Khanzada, for a site plan approval and a special use permit for an eating and drinking establishment without beer, wine or liquor, located at 144 Dolson Avenue

5. ADJOURNMENT

**CITY OF MIDDLETOWN
PLANNING BOARD
MINUTES**

March 4, 2026

A meeting of the Planning Board was held in the Common Council Chambers, City Hall, 16 James Street, Middletown, New York on March 4, 2026 at 7:00 P.M., Mr. Anthony Capozella presiding.

Members Present: Richard McCormack, Andy Britto, David Madden, Dan Higbie, Yasmin Dupre, Gretchen Witt.

Other Attendees: Sixto Martinez, Building Inspector, Andrew Witkowski, Fire Inspector, Richard J. Croughan, Planning Board Attorney.

The Pledge of Allegiance was said.

Motion to accept the February 4, 2026 minutes by Ms. Witt, seconded by Mr. Higbie.

Motion passed.

Mr. Capozella pointed out that all first-time applicant appearances are considered a preliminary hearing and the Planning Board may or may not chose to act or vote on those applications tonight.

**Torrissi Produce Co. Inc.
76-86 Dolson Avenue
1-year extension for a flower truck**

Resolution for Torrissi Produce Co. Inc., 76-86 Dolson Avenue, one-year extension for flower truck. Motion by Mr. Madden, seconded by Mr. McCormack.

Roll Call Ayes: David Madden, Richard McCormack, Andy Britto, Gretchen Witt, Yasmin Dupre, Dan Higbie, Anthony Capozella.

**BDK Masonry and Construction Corp.
101 North Street
Eating and drinking establishment (beer & wine)
(Continuation. Application provided on December 3, 2025)**

Mr. Capozella: This is a continuation. Step forward, gentlemen.

So we automatically have the mailings. The public hearing is still open. It's a continuance; okay?

Mr. Dolan: Jim Dolan, Jr. with James Dolan Land Surveyors. I wasn't here for the original meeting.

Mr. Capozella: Okay.

Mr. Dolan: I thought this was new business. They asked me to come and move the site plan along.

Mr. Capozella: Right.

Mr. Dolan: But obviously we're here for a special use permit for an eating and drinking establishment, and we did a site plan for them, and I guess you can catch me up to date what --

Mr. Capozella: Well, the reason why it was continued is that we wanted to be certain that there was no encroachments, no easements, which you did do on your survey map.

Mr. Dolan: Yes, we did.

Mr. Capozella: And you located everything appropriately. Yes.

Mr. Dolan: The only easement is for the access to I think it's Railroad Avenue. Yeah, Railroad.

Mr. Capozella: Railroad. Right.

Mr. Dolan: There's an easement that we can use in and out.

Mr. Capozella: But you show it on the plan, and there's no other encroachments.

Mr. Dolan: Yup.

Mr. Capozella: So that was really the main reason why we needed to verify that and be certain of that before there was any talk of approval.

Mr. Dolan: Okay.

Mr. Capozella: Okay. Board -- anyone from the public wishing to address this application, please step forward.

No one stepping forward, I'll go to the Board for any questions, comments, or concerns.

We'll make a note that there is a cooler that is going on the outside of the building; okay? I just want to make it very clear that before you build that or do anything with that, that you meet with the Architectural Review Board, ARB, all right, because they take care of all the exterior of the buildings in the DMU, and that includes anything that goes on the outside of the building, whether it's façade, the cooler, fencing, screening,. Anything to do with the outside of your building, you need to go to them first.

Mr. Dolan: Okay.

Mr. Capozella: All right? So just don't throw the cooler up and, you know, get yourself in a jam that you can't open.

Mr. Dolan: Is that a, like a public meeting, or is it just you go --

Mr. Capozella: Contact Maria Bruni, City Hall. She is the chairperson of that board, and she'll put you on the agenda, and she'll guide you through that process.

Mr. Dolan: Okay.

Mr. Capozella: And that is in the resolution, by the way, because we do have a section for the DMU for all external fencing and appurtenances that go on a building in the DMU.

Mr. Croughan: Mr. Witkowski, any concerns?

Mr. Witkowski: No concerns.

Mr. Croughan: Mr. Martinez, any concerns?

Mr. Martinez: No concerns.

Mr. Capozella: Any other Board member have any questions, comments, or concerns?

I'll go to the public one more time. Anyone wishing to step forward and address this application, please step forward.

No one stepping forward, I need a motion to close the public hearing.

Motion to close by the public hearing by Mr. Britto, seconded by Ms. Dupre.

Motion passed.

The public hearing was closed.

Mr. Capozella: Board members, one more time. Anything?

Mr. Croughan: Just the applicant should make sure they look at the resolution. The resolution clearly spells out what has to be done, so the Board would only be approving the site plan, but any additional work, you have to comply with the authority such as Mr. Martinez and Ms. Bruni.

Resolution for BDK Masonry Construction Corp., 101 North Street, eating and drinking establishment, beer and wine. Motion by Mr. Britto, seconded by Ms. Dupre.

Roll Call Ayes: David Madden, Richard McCormack, Andy Britto, Gretchen Witt, Yasmin Dupre, Dan Higbie, Anthony Capozella.

Motion to adjourn by Mr. Britto, seconded by Ms. Witt.

Motion passed.

Adjourned 7:09 p.m.

Respectfully Submitted,

Diane Genender, Transcriber



**CITY OF MIDDLETOWN, NEW YORK
PLANNING BOARD
RECORD OF VOTE**

THE FOLLOWING WAS PRESENTED

By: None
 Seconded by: None
 Date of Adoption: April 1, 2026
 Resolution Number

Names	Ayes	Noes	Abstain	Absent
Mr. Madden				
Mr. McCormack				
Mr. Britto				
Mrs. Witt				
Mrs. Dupre				
Mr. Higbie				
Chairman Cappozella				
Total				

Filed with the Clerk of the City of Middletown on: April 1, 2026

Richard P. McCormack

Lead Agency and Negative Declaration for Promenade Middletown LLC, for the addition of a memory care unit to an existing adult care facility located at 60-78 Fulton Street

LEAD AGENCY

WHEREAS, the City of Middletown Planning Board has received an application from Promenade Middletown LLC seeking a site plan amendment and special use permit approval for the addition of a memory care unit to an existing adult care facility located at 60-78 Fulton Street Middletown, NY Section 40, Block 6, Lot 1 & 15, located in the DMU Zone which is a permitted use.

THEREFORE, be it resolved, that the City of Middletown Planning Board is declaring its intent to be Lead Agency with respect to the proposed action under the State Environmental Quality Review Act; and,

BE IT FURTHER RESOLVED, that the City of Middletown Planning Board is authorizing the applicant to distribute the Lead Agency Coordination Request in accordance with Article 8 of the Environmental Conservation Law and 6 NYCRR Part 617 to all interested and involved agencies.

Prepared by:

Attachments:

1.	2025-2-17 The Promenade of Middletown Site Plan Set-SEALED_JL
2.	2026-2-17 The Promenade of Middletown SEAF-SIGNED

SITE PLANS PREPARED FOR

THE PROMENADE OF MIDDLETOWN

CITY OF MIDDLETOWN

ORANGE COUNTY, NEW YORK

APPLICANT – OWNER
 PROMENADE OF MIDDLETOWN, LLC
 60-78 FULTON STREET
 MIDDLETOWN, NEW YORK 10940
 (845) 341-1888

SITE ENGINEER
 WEINBERGLIM ENGINEERING DPC
 7 PATRICIA LANE
 SPRING VALLEY, NEW YORK 10977
 (845) 570-0401

ARCHITECT
 BILD ARCHITECTURE
 300 TICE BLVD, SUITE #279
 WOODCLIFF LAKE, NEW JERSEY 07677
 (212) 381-0670

LAND SURVEYOR
 CLEARPOINT SERVICES, LLC
 1640 HERMAN RD., UNIT 1
 JACKSON, NEW JERSEY 08527
 (732) 905-5463



VICINITY MAP
N.T.S.

LIST OF DRAWINGS			
NO.	TITLE	ORIGINAL DATE	LATEST REVISION DATE
1	TITLE SHEET	2/12/2026	
2	LAYOUT PLAN	2/12/2026	
3	LANDSCAPE & LIGHTING PLAN	2/12/2026	
4	EMS VEHICLE TURN ANALYSIS	2/12/2026	
5	CONSTRUCTION DETAILS	2/12/2026	
6	INFORMATION SHEET- OUTBOUND AND TOPOGRAPHIC SURVEY	8/13/2024	

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 New York
 800-962-7962
 www.digsafelynewyork.org

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- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

<u>OWNERS APPROVAL FOR FILING</u>	
OWNER OR REPRESENTATIVE _____	DATE _____
<u>FINAL PLANNING BOARD APPROVAL</u>	
CHAIRMAN, PLANNING BOARD _____	DATE _____
VILLAGE OF KASER	

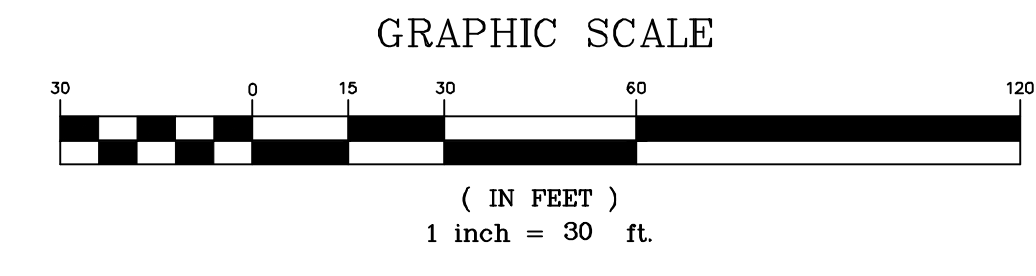
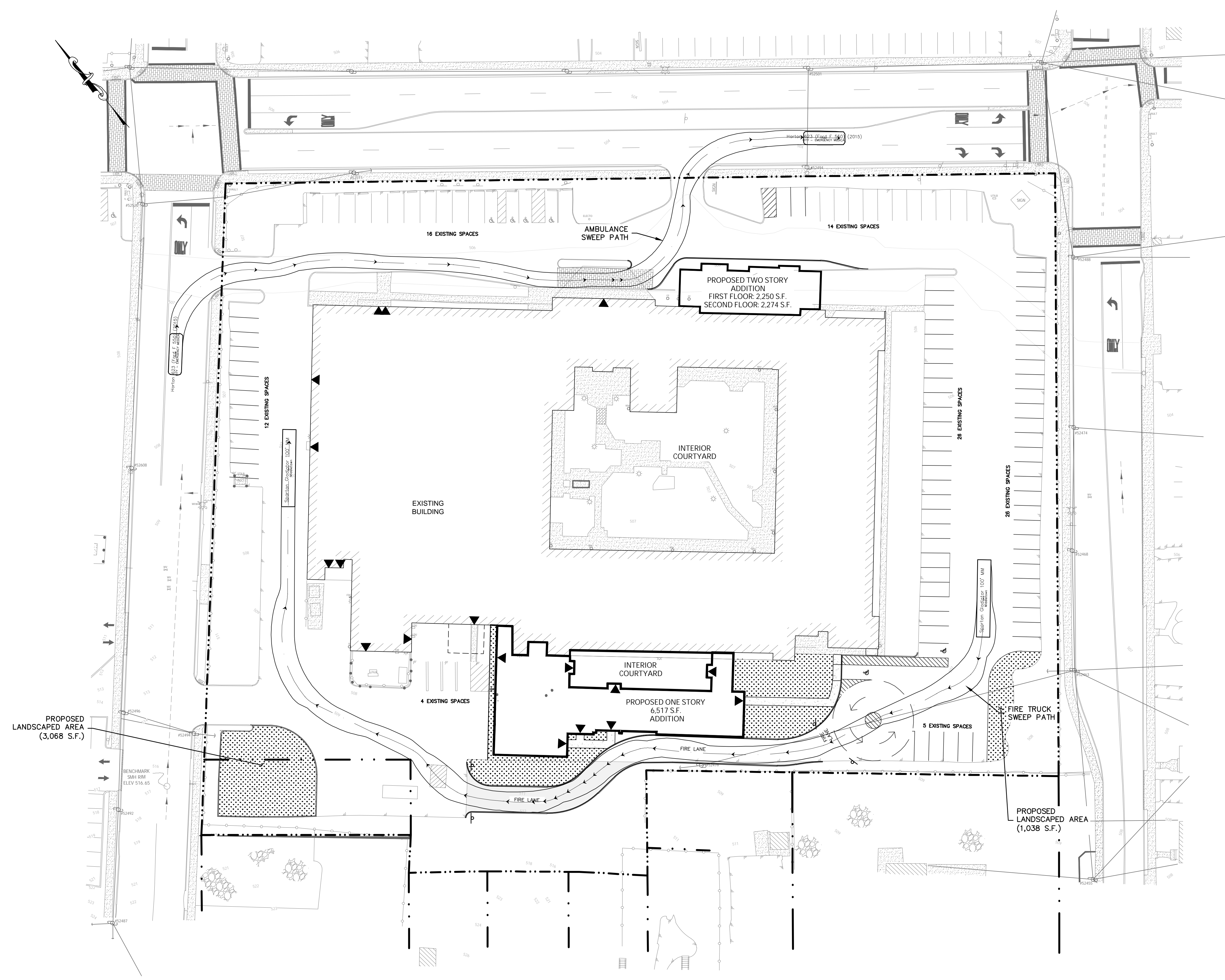
REV.	DESCRIPTION	DATE

WEINBERGLIM
 ENGINEERING
 7 PATRICIA LANE, SPRING VALLEY, NEW YORK 10977
 (845) 570-0401
 ow@weinberglim.com

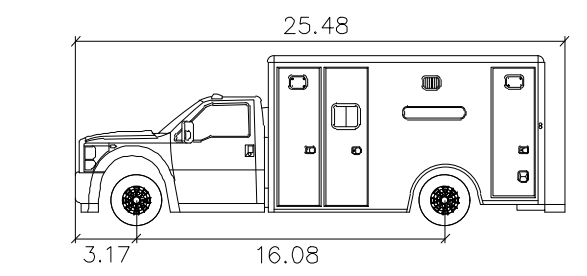
PROMENADE OF MIDDLETOWN
 CITY OF MIDDLETOWN
 ORANGE COUNTY, NY
TITLE SHEET

Job number: 24029
 Drawn by: AK
 Checked by: AW
 Date: 2/12/2026
 Scale: 1"=30'
 Drawing Number: 1

C:\Users\jwe\OneDrive\Engineering\Projects\24029 - The Promenade of Middletown\24029\DWG\BEE11-24029-Title.dwg TITLE: 2/12/2026 11:18:18 PM ARCH: jwe (845) 570-0401



EMERGENCY VEHICLE SWEEP PATHS
SCALE: 1" = 30'



Horton 623 (Ford F 550) (2015)
 feet
 Width : 8.00
 Track : 7.22
 Lock to Lock Time : 6.0
 Steering Angle : 46.6

AMBULANCE PROFILE
SCALE: 1" = 10'

Spadtm Gladiator 100' Midmount
 feet
 Width : 8.33
 Track : 7.8
 Lock to Lock Time : 3.0
 Steering Angle : 33

FIRE TRUCK SPECS

		DATE
WEINBERGLIM ENGINEERING 7 PATRICK LANE, SPRING VALLEY, NEW YORK 10977 (845) 570-0401 ow@weinberglim.com		REV.
PROMENADE OF MIDDLETOWN CITY OF MIDDLETOWN ORANGE COUNTY, NY		DESCRIPTION
EMS VEHICLE TURN ANALYSIS		DATE
Job number:	24029	
Drawn by:	AK	
Checked by:	AW	
Date:	2/12/2026	
Scale:	1"=30'	
Drawing Number:	4	

C:\Users\Justin Weinberg\OneDrive\Engineering\Projects\24029\24029.dwg - The Promenade of Middletown\24029.dwg - 7/24/2025 9:20:30 PM, ARCHIT (scaled) 0/4/00 - 38.00 (inches), 1:1

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: The Promenade of Middletown			
Project Location (describe, and attach a location map): 60-78 Fulton Street Middletown, NY			
Brief Description of Proposed Action: 8,405 sf addition for a Memory Care unit onto the back of the existing building and a 2,160 sf addition for Assisted Living units onto the front of the existing building.			
Name of Applicant or Sponsor: Promenade Middletown LLC		Telephone: 845-341-1888	
Address: 60-78 Fulton Street		E-Mail:	
City/PO: Middletown		State: NY	Zip Code: 10940
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Middletown Planning Board			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		4.7 acres	
b. Total acreage to be physically disturbed?		0.5 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		4.7 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
The site across the street	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe:		

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
A site at the corner of Fulton & Canal Streets was identified by the DEC remediation mapper		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Promenade Middletown LLC</u> Date: <u>2/17/26</u>		
Signature: <u>[Signature]</u> Title: <u>Member</u>		



**CITY OF MIDDLETOWN, NEW YORK
PLANNING BOARD
RECORD OF VOTE**

THE FOLLOWING WAS PRESENTED

By: None
 Seconded by: None
 Date of Adoption: April 1, 2026
 Resolution Number

Names	Ayes	Noes	Abstain	Absent
Mr. Madden				
Mr. McCormack				
Mr. Britto				
Mrs. Witt				
Mrs. Dupre				
Mr. Higbie				
Chairman Cappozella				
Total				

Filed with the Clerk of the City of Middletown on: April 1, 2026

Richard P. McCormack

Request of Dreamfields, Inc., for a special use permit and site plan approval for manufacturing and distribution of cannabis products, located at 55 Midland Avenue Extension

Prepared by:

Attachments:

1.	City of Middletown Planning Board Application - Signed
2.	Signed EAF
3.	3-9-26 - DREAMFIELDS

APPLICATION

PLANNING BOARD

City of Middletown, New York

Date deemed complete _____
Accepted by _____

Date _____

Items 1, 2 and 3 are required to be completed

1. Address of Subject Property 55 Midland Ave Ext

Section 9 Block 1 Lot 1 Current Zoning District I-2

Building Existing New _____

2. Owner of Property Mazel Midland, LLC

Owner's Address 23 Schunemunk Rd Unit 101

City Monroe State NY Zip 10950

Phone numbers: Home: _____

Business: _____

Cell: _____

3. Applicant name Dreamfields Inc.

If different from Owner

Applicants Address 65000 Two Bunch palms Trail

City Desert Hotspings State CA Zip 92240

Phone numbers: Home: _____

Business: 978-815-9925

Cell: _____

Fax: _____

Answer 4, 5 or 6

4. Special Use Permits/Site Plan Approval. An approval for a special use permit and/or site plan approval is hereby requested. In the space provided indicate the section(s) and classification(s) of the occupancy for which you are seeking a special use permit. Included all uses which are currently or will be in the subject property. All dimensions shall be listed in the space provided. Refer to the tables at the rear of the Zoning Ordinance for requirements in UR-3, SR-3, SR-3A and SR-3B districts. Additional sheets may be attached if required.

Section # 475-25

Classification of Occupancy requested Manufacturing

Description of what you are requesting: Manufacturing of cannabis products and distrubtion
Not including retail of products

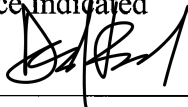
Uses currently in property: Vacant

Title	Section Number	Required Dimensions	Actual Dimensions
Lot area	475-25	15,000 SF	
Front yard	↓	20 ft	126.5 ft
Rear yard		10 ft	660 ft
Side yard		N/A	
Side yard		N/A	
Parking	475-33	1 per 400 SF of Floor Area	

Answer this section only for multiple dwellings

Lot coverage _____
 Building height _____
 Open Space _____
 Playlot _____
 Livable floor area _____
 Number of Bedrooms _____

7. Sign at the Place Indicated

Signature:  _____

Printed Name and Title: Daniel Bouchard - National Expansion Director

Date: 5/1/2025

Short Environmental Assessment Form

Part 1 - Project Information

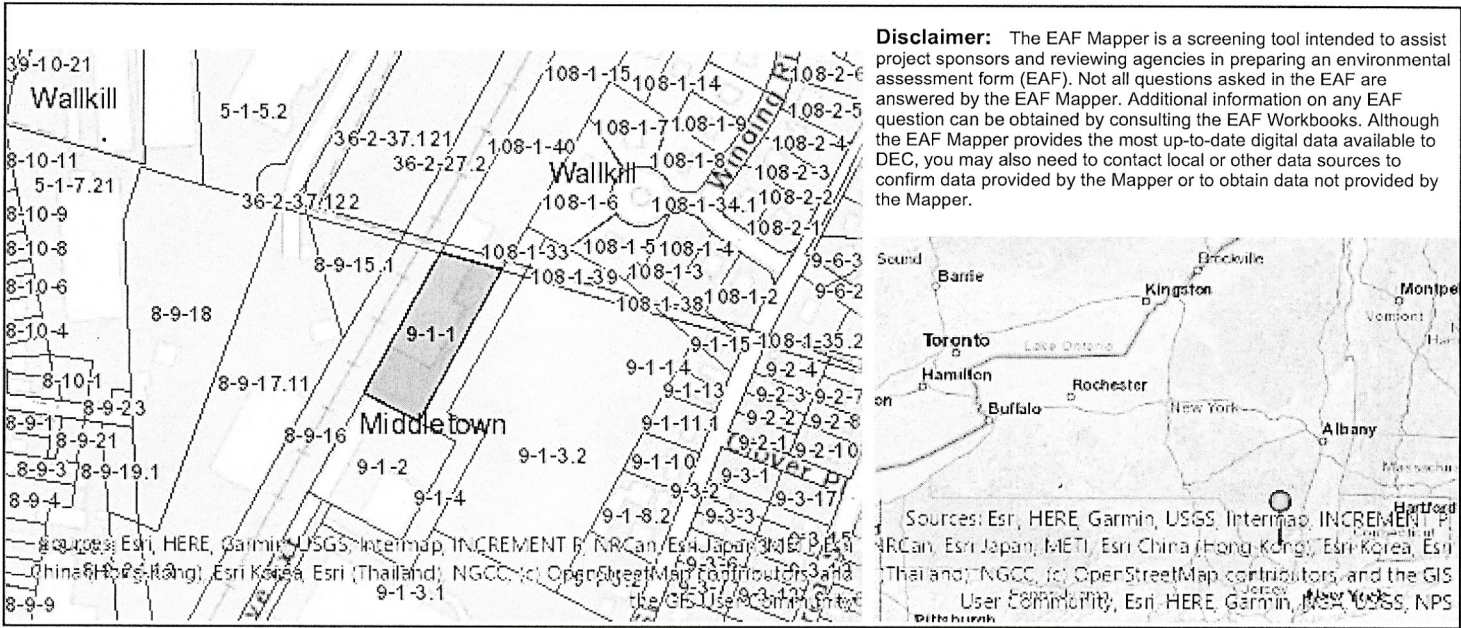
Instructions for Completing

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Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

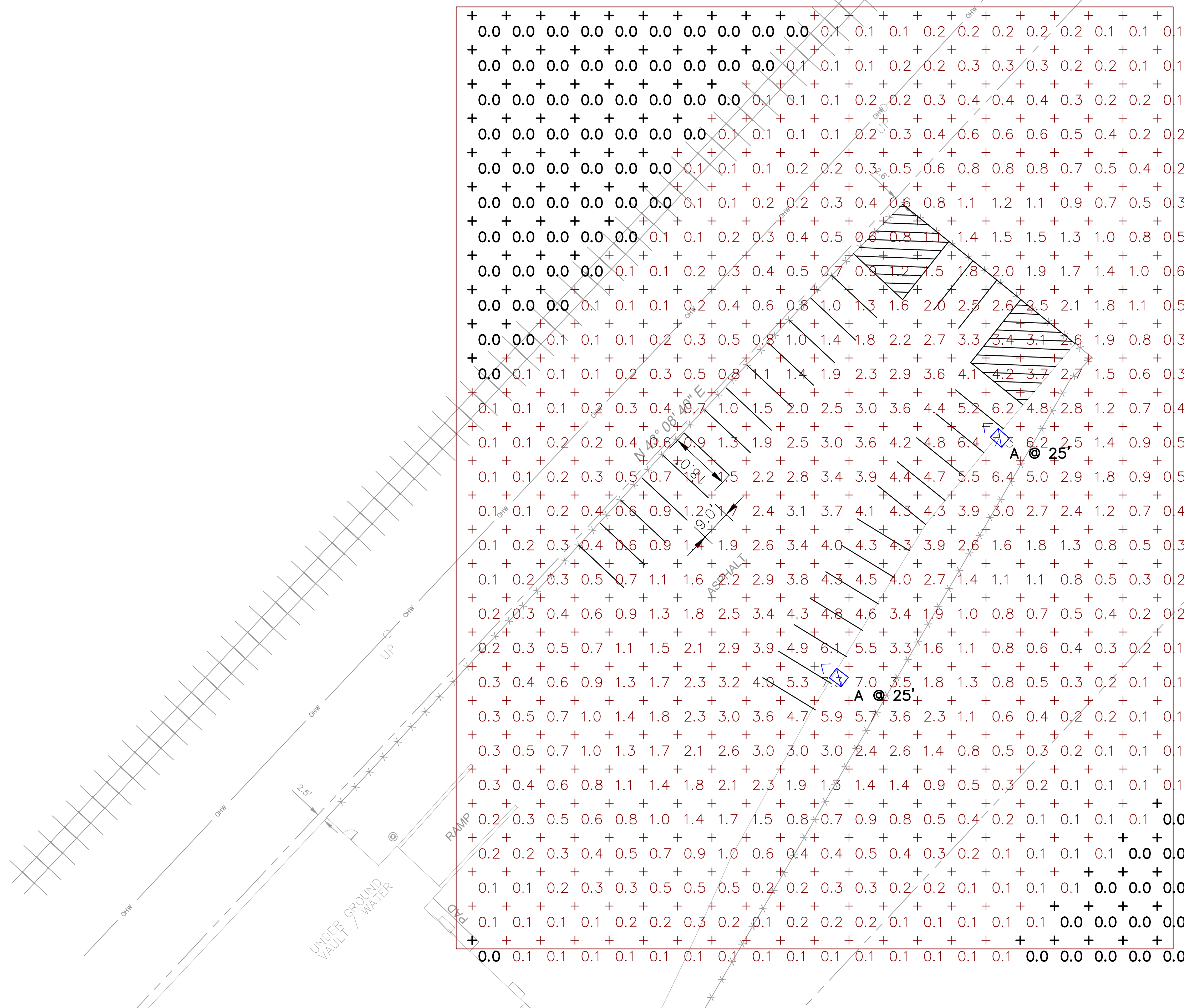
Part 1 – Project and Sponsor Information			
Name of Action or Project: Dreamfields Inc.			
Project Location (describe, and attach a location map): 55 Midland Ave Ext, Middletown, NY 10940			
Brief Description of Proposed Action: Existing 33,197 SF building will be used for manufacturing cannabis products. The lot is currently in the I-2 District (Heavy Industry). Proposed parking for employees will be provided per zoning, 1 parking space per 2 employees. A total of 60 employees over two shifts is anticipated with 30 Parking spaces being provided. A portion of the lot is within the Town of Wallkill and approval process will be coordinated with them.			
Name of Applicant or Sponsor: Dreamfields Inc.		Telephone: 978-815-9925	
		E-Mail: dbouchard@jeeter.com	
Address: 65000 Two Bunch Palms Trail			
City/PO: Desert Hotsprings		State: CA	Zip Code: 92240
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Middletown Planning Board and City of Middletown Building Department			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 3.77 acres	
b. Total acreage to be physically disturbed?		_____ 0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 3.77 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

File Name: F:\2025\25-039 SITE PLAN APPROVAL FOR DREAMFIELDS-C-601.dwg (Layout: C-601)
 Date: Mon, Mar 09, 2026 - 10:00 AM (Name: vmb)



LEGEND:

	EXISTING OVERHEAD ELECTRIC
	EXISTING CHAIN LINK FENCE
	NEW CHAIN LINK FENCE
	SETBACK
	EXISTING PROPERTY LINE
	EXISTING CATCH BASIN
	EXISTING UNDERGROUND VAULT / WATER
	EXISTING HYDRANT
	EXISTING SEWER MANHOLE
	EXISTING UTILITY POLE
	EXISTING WALL MOUNTED LIGHT

1 LIGHTING PLAN
 1" = 20'-0"

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Base Grid	+	1.0 fcd	7.3 fcd	0.0 fcd	N/A	N/A

Luminaire Locations

No.	Label	Location			MH	Orientation	Tilt	Aim		
		X	Y	Z				X	Y	Z
1	A	4797.00	6394.00	25.00	25.00	306.87	0.00	4797.00	6394.00	0.00
2	A	4844.00	6464.00	25.00	25.00	311.19	0.00	4844.00	6464.00	0.00

Schedule

Symbol	Label	Quantity	MANUFACTURER	Catalog Number	Number Lamps	Lamp Output	Light Loss Factor	Total Output	Description	Input Power
	A	2	AMERICAN ELECTRIC LIGHTING	ATBO P605 R4 3K	1	20049	0.9	20049	Autobahn LARGE P605 Package Roadway Type IV 300K CCT	145

REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:

REFERENCE SCALE

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW. CERTIFICATE OF AUTHORIZATION NUMBER 0017795

FELLENZER ENGINEERING LLP
 www.felip.com

22 Mulberry St., Suite 2A, Middletown, NY 10940
 1845-343-1481 fx 845-343-4986

181 Church St., Suite 100, Poughkeepsie, NY 12601
 1845-454-9704 fx 855-320-8735

PROJECT TITLE: **DREAMFIELDS INC. SITE PLAN**
 55 MIDLAND AVE. EXT., MIDDLETOWN, NY

DRAWING TITLE: **LIGHTING PLAN**

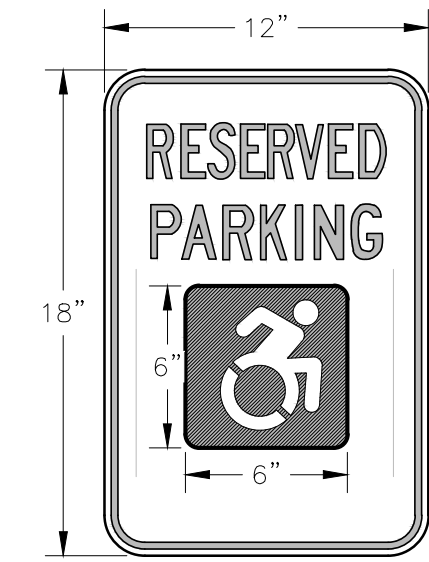
DESIGNED BY: JB	DRAWN BY: VMB	APPROVED BY P.E.: RDF	APPROVED BY P.I.C.: MDF	DRAWING #: C-601
DATE: 4/1/2025	SCALE: AS SHOWN	FE PROJECT #: 25-039	PAGE 4 OF 5	



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 3/09/26
 NOT FOR CONSTRUCTION

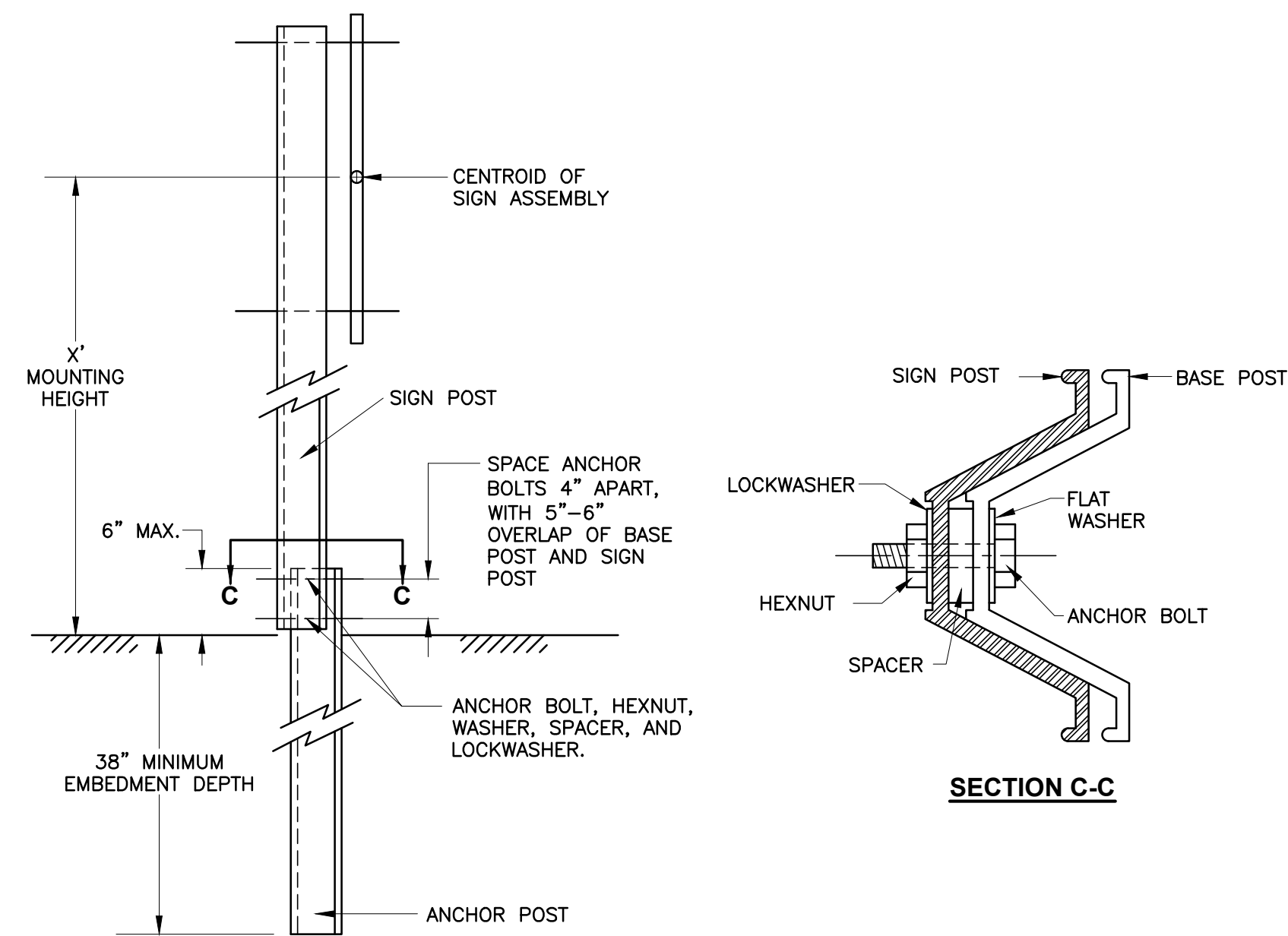


1 NO PARKING ANYTIME SIGN
N.T.S.

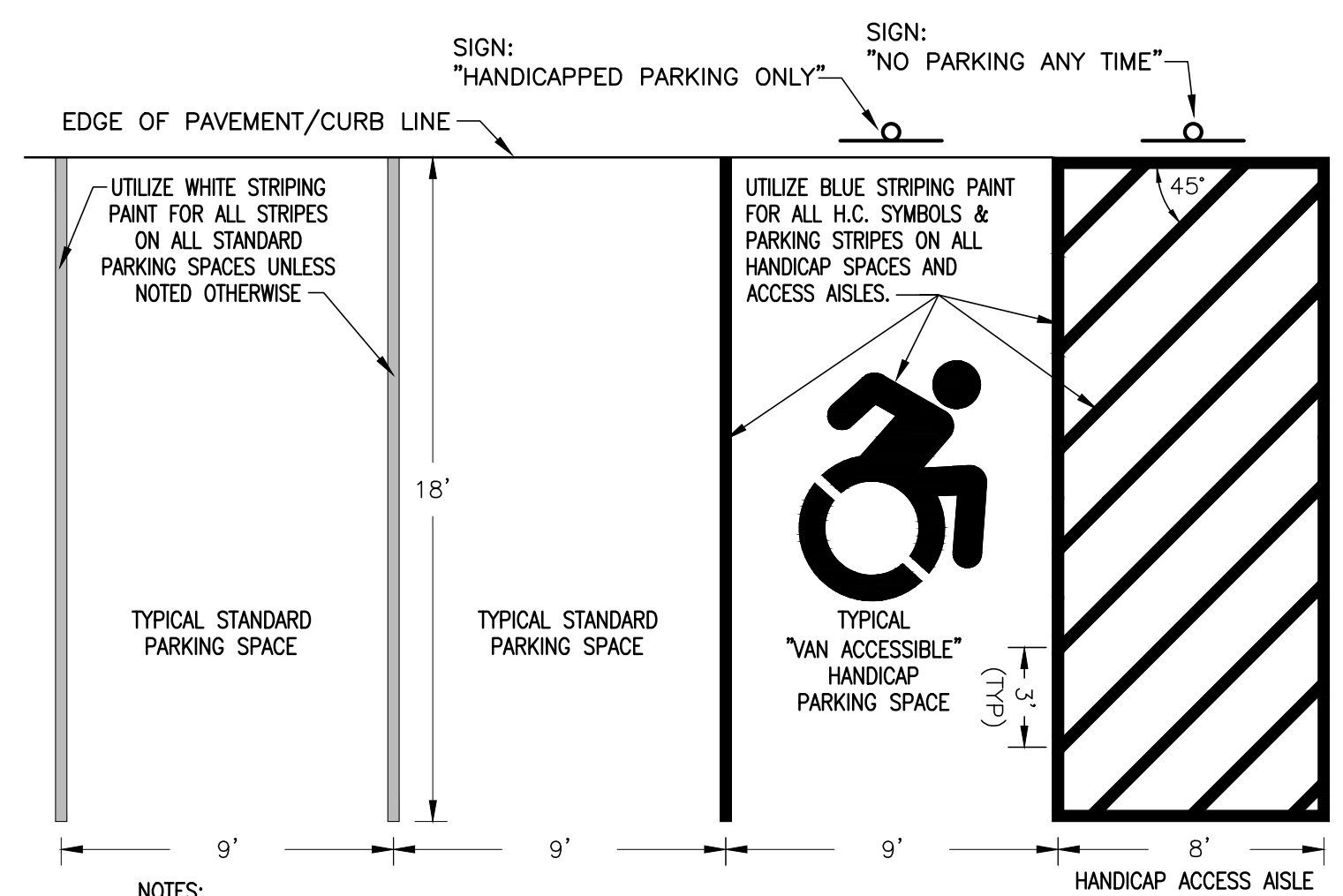


LETTERING AND BORDER: GREEN
SYMBOL: WHITE WITH BLUE FIELD
SIGN BACKGROUND: WHITE

2 HANDICAP RESERVED PARKING SIGN
N.T.S.

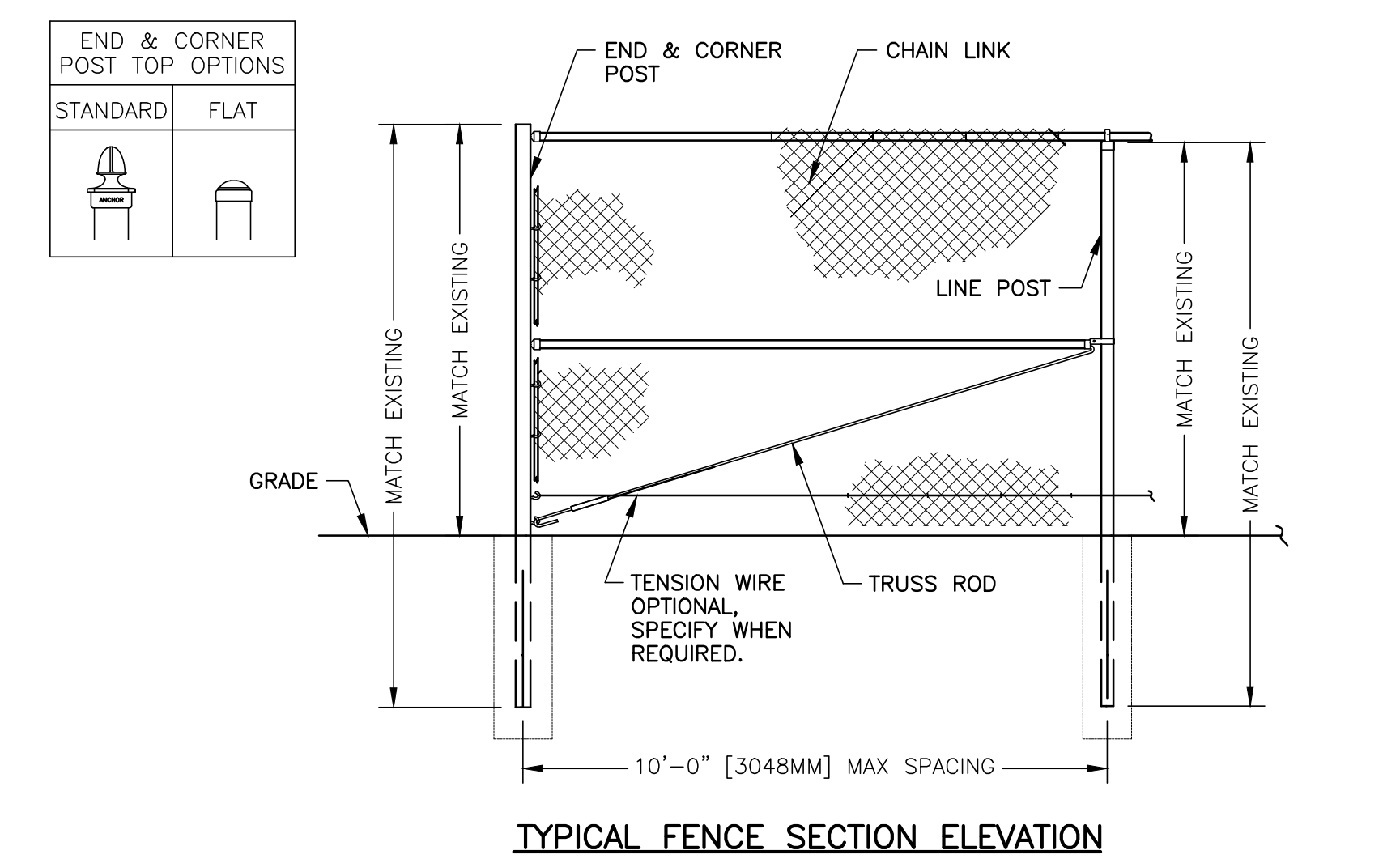
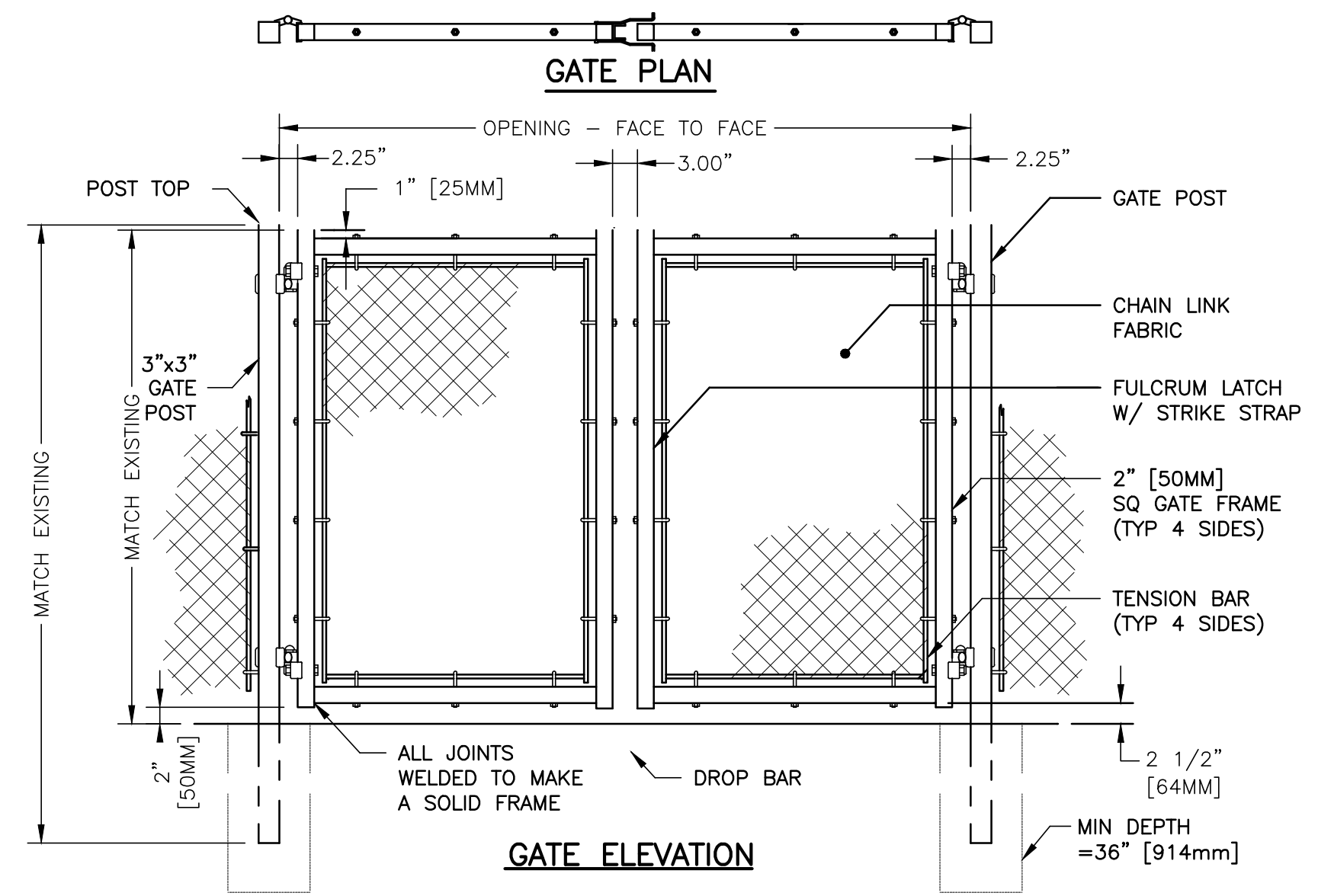


3 BREAKAWAY STYLE SIGN POST DETAIL
N.T.S.



4 VAN ACCESSIBLE HANDICAP PARKING - STRIPING DETAIL
N.T.S.

NOTES:
1. ALL PARKING AREAS TO BE RESTRIPTED AT LEAST ONCE A YEAR.
2. ALL STRIPING TO BE 4" WIDE UNLESS NOTED OTHERWISE.
3. SEE SIGN DETAILS FOR SIGN MOUNTING AND SIGN HEIGHT REQUIREMENTS.
4. AT LEAST 1 (ONE) SPACE OF EVERY 8 (EIGHT) REQUIRED HANDICAP SPACES SHALL BE "VAN ACCESSIBLE", WITH A MINIMUM REQUIREMENT OF 1 (ONE) "VAN ACCESSIBLE" SPACE, IF LESS THAN 8 HANDICAP SPACES ARE REQUIRED.



5 TYPICAL CHAIN LINK FENCE AND GATE
N.T.S.

NOTES:
1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
2. FOOTING WIDTH TO BE (4)X POST WIDTH.
3. GATES MAY BE MANUALLY OR ELECTRICALLY OPERATED. HARDWARE WILL VARY FOR ELECTRICALLY OPERATED GATES.

LAWN RESTORATION SCHEDULE & NOTES

	SPECIES	LBS / 1,000 SQFT
PERMANENT SEED MIXTURE	TALL FESCUE	1
	KENTUCKY BLUEGRASS	3
	PERENNIAL RYEGRASS	1

- NOTE: OPTIMUM PERMANENT SEEDING SCHEDULE: SPRING OR EARLY FALL
- REMOVE ALL DEBRIS (STICKS, STONES, ETC.) FROM AREA, AND PREPARE SOIL BY TILLING TO A 3"-4" DEPTH.
 - RAKE SURFACE LEVEL TO PREVENT WATER FROM POOLING IN ONE AREA. AREAS LOCATED ON A SLOPE SHALL BE RAKED PARALLEL WITH CONTOURS TO PREVENT MOISTURE RUN-OFF.
 - FERTILIZER SHALL BE APPLIED TO THE TILLED SOIL AT RATE OF 6 LBS. PER 1,000 sq.ft. FERTILIZER SHALL BE A COMMERCIAL 10-0-10 MIXTURE.
 - AREA SHALL BE LIGHTLY SPRAYED WITH WATER TO ALLOW SOIL TO SETTLE.
 - PERMANENT SEED MIXTURE SHALL BE SPREAD BY HAND, LAWN SPREADER OR MECHANICAL SEEDER (AS APPROPRIATE FOR SIZE OF AREA) AT A RATE OF 5 lbs. OF SEED MIXTURE PER 1,000 sq.ft. DO NOT OVERSEED, OR OVER CROWDING OF THE SEEDLINGS MAY OCCUR, AND HAMPER PROPER LAWN GROWTH.
 - LIGHTLY COVER SEEDED AREA WITH 1/4"-3/4" OF SOIL. (ROLLING OF SEEDBED TO PROMOTE SOIL TO SEED CONTACT IS OPTIONAL) AND COVER WITH A MULCH OF HAY OR STRAW AT A RATE OF 90 lbs (APPROX 2 BALES) PER 1,000 sq.ft.
 - SEEDED AREA SHALL BE COVERED WITH A MULCH OF STRAW OR HAY AT THE RATE OF 90 lbs. (APPROX. 2 BALES) PER 1,000 S.F. TO HELP MAINTAIN SOIL MOISTURE LEVEL.
 - LIGHTLY WATER SEED BED DAILY TO KEEP IT MOIST, WHILE TAKING CARE NOT TO SATURATE.
 - NEW GRASS SHALL NOT BE MOWED UNTIL IT HAS REACHED A MINIMUM HEIGHT OF 2"-2 1/2".
 - PRACTICE REGULAR MAINTENANCE & WATER REGULARLY AS CONDITIONS REQUIRE.

REV #	DATE	REMARKS:	ISSUE #	DATE	ISSUED FOR:

1" = 2'

REFERENCE SCALE

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW. CERTIFICATE OF AUTHORIZATION NUMBER 0017795

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181 Church St., Suite 100, Poughkeepsie, NY 12601
t 845-454-9704 fx 855-320-8735

STAMP: PROJECT TITLE: **DREAMFIELDS INC. SITE PLAN**
55 MIDLAND AVE. EXT., MIDDLETOWN, NY

DRAWING TITLE: **DETAILS**

DESIGNED BY: JB	DRAWN BY: VMB	APPROVED BY P.M.: RDF	APPROVED BY P.I.C.: MDF	DRAWING #:
DATE: 4/1/2025	SCALE: AS SHOWN	FE PROJECT #:	25-039	C-901

PAGE 5 OF 5



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3/09/26
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**CITY OF MIDDLETOWN, NEW YORK
PLANNING BOARD
RECORD OF VOTE**

THE FOLLOWING WAS PRESENTED

By: None
 Seconded by: None
 Date of Adoption: April 1, 2026
 Resolution Number

Names	Ayes	Noes	Abstain	Absent
Mr. Madden				
Mr. McCormack				
Mr. Britto				
Mrs. Witt				
Mrs. Dupre				
Mr. Higbie				
Chairman Cappozella				
Total				

Filed with the Clerk of the City of Middletown on: April 1, 2026

Richard P. McCormack

Request of Nasir J. Khanzada, for a site plan approval and a special use permit for an eating and drinking establishment without beer, wine or liquor, located at 144 Dolson Avenue

Prepared by:

Attachments:

1.	APPLICATION PLANNING BOARD-
2.	156 Dolson Avenue SET OF PLAN 03-05-2026

APPLICATION
PLANNING BOARD
City of Middletown, New York

Date deemed complete _____
Accepted by _____

Date 02-26-2026

Items 1, 2 and 3 are required to be completed

1. Address of Subject Property 144 Dolson ave Middletown NY 10940

Section 48 Block 1 Lot 8 Current Zoning District _____

Building Existing 3,354 New _____

2. Owner of Property Middletown Plaza Holdings LLC

Owner's Address 22 Tokay Lane

City Monsey State NY Zip 10952

Phone numbers: Home: _____

Business: +19175668422

Cell: _____

3. Applicant name Nasir J. Khanzada

If different from Owner

Applicants Address 181-24 Hillside Ave, 2nd Floor

City Queens State NY Zip 11432

Phone numbers: Home: _____

Business: 212-380-1543

Cell: 516-410-6903

Fax: _____

Answer 4, 5 or 6

4. Special Use Permits/Site Plan Approval. An approval for a special use permit and/or site plan approval is hereby requested. In the space provided indicate the section(s) and classification(s) of the occupancy for which you are seeking a special use permit. Included all uses which are currently or will be in the subject property. All dimensions shall be listed in the space provided. Refer to the tables at the rear of the Zoning Ordinance for requirements in UR-3, SR-3, SR-3A and SR-3B districts. Additional sheets may be attached if required.

Section # _____

Classification of Occupancy requested _____

Description of what you are requesting: _____

_____ Converting a TD Bank building into an Adobo Mexican Grill restaurant. _____

Uses currently in property: _____

Title	Section Number	Required Dimensions	Actual Dimensions
Lot area	_____	_____	_____
Front yard	_____	_____	_____
Rear yard	_____	_____	_____
Side yard	_____	_____	_____
Side yard	_____	_____	_____
Parking	_____	_____	_____

Answer this section only for multiple dwellings

Lot coverage _____

Building height _____

Open Space _____

Playlot _____

Livable floor area _____

Number of Bedrooms _____

7. Sign at the Place Indicated

Signature: _____



Printed Name and Title: **Ariel Jacobov Member**

Date: **2/26/26**

Nasir J. Khanzada L.L.C.
Consulting Engineer

181-24 Hillside Avenue
Queens, NY 11432

PHONE NO.: (212) 380-1543
FAX NO.: (718) 989-9200

NOTICE:

1-THESE DRAWINGS ARE SOLE PROPERTY OF NASIR J. KHANZADA L.L.C. AND SHALL NOT BE ALTERED IN ANY WAY WITHOUT WRITTEN PERMISSION OF ARCHITECT OR ENGINEER OF RECORD.
2-IT IS A VIOLATION OF THE NYS EDUCATION LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM IN THIS DRAWING IN ANYWAY. (NYS EDUCATION LAW SEC. 7209-2)

NOTE:

1-THESE DRAWINGS ARE FOR PROCUREMENT OF BUILDING PERMIT AND SHALL NOT BE CONSTRUED AS A CONTRACT BETWEEN OWNER AND CONTRACTOR. WRITTEN CONTRACT SUPERCEDES CONSTRUCTION DRAWINGS.
2-CONTRACTOR TO VERIFY ALL LOCATIONS, DIMENSIONS AND CONDITIONS AT THE JOB. NOTIFY NASIR J. KHANZADA L.L.C. OF ERRORS, OMISSIONS, DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.

NO.	DATE	DESCRIPTION	BY	CHK'D BY

MAP NO.:	NORTH ARROW
ZONE:	
BLOCK:	
LOT:	

PROJECT LOCATION:
156 DOLSON AVENUE
MIDDLE TOWN, NY. 10940

WORK DESCRIPTION:
CONVERTING TD BANK
INTO AN ADOBO MEXICAN
GRILL RESTAURANT

SHEET TITLE:
EXISTING/PROPOSED
LEGEND, FIRST FLOOR PLAN,
ROOF PLAN AND WALL DETAILS

DEPT. OF BLDGS. JOB NUMBER / SCAN CODE:

APPROVED SEAL & SIGNATURE:

SEAL & SIGNATURE:

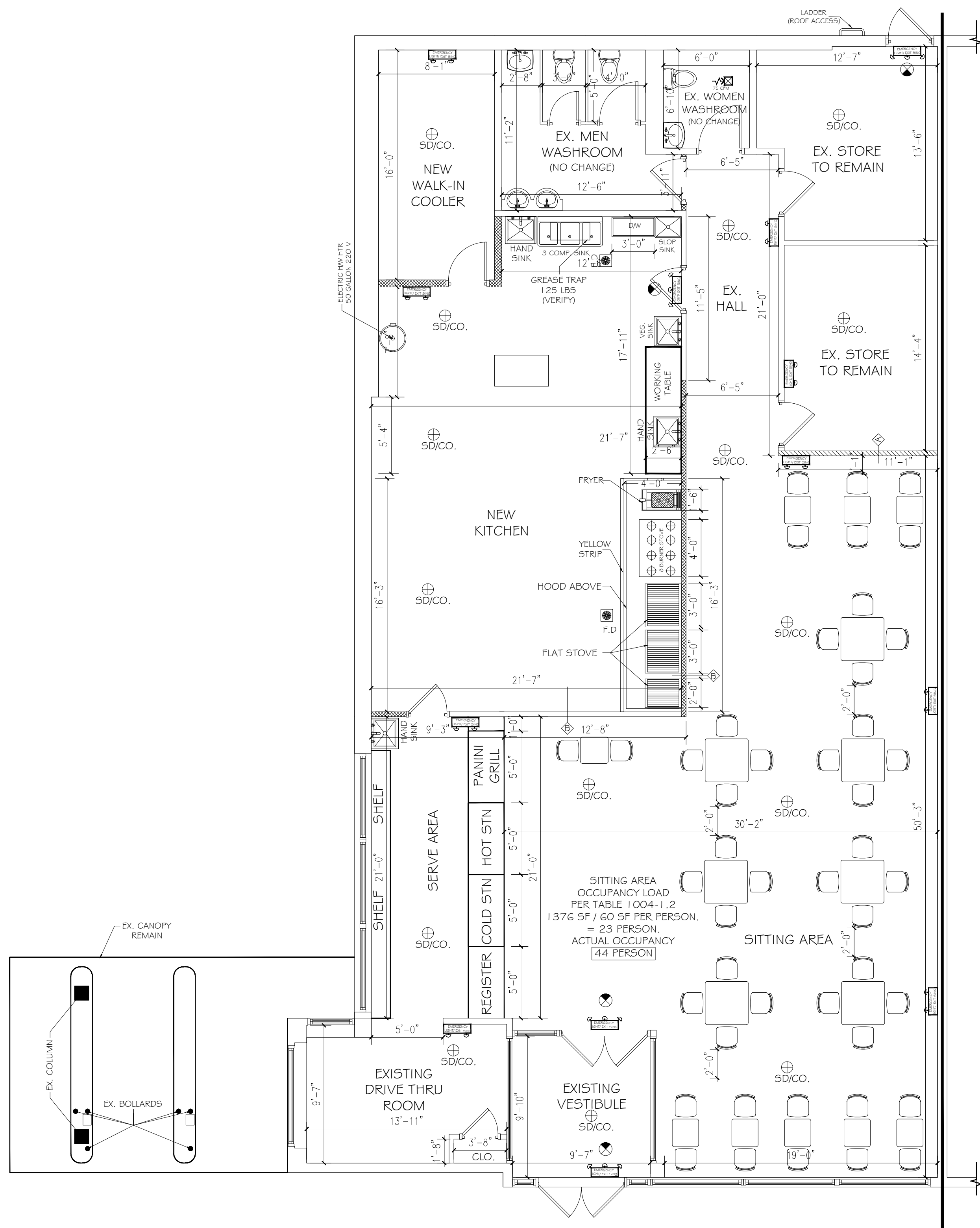
INITIAL DATE:
12/24/25
REVISED DATE:

CHK. BY:

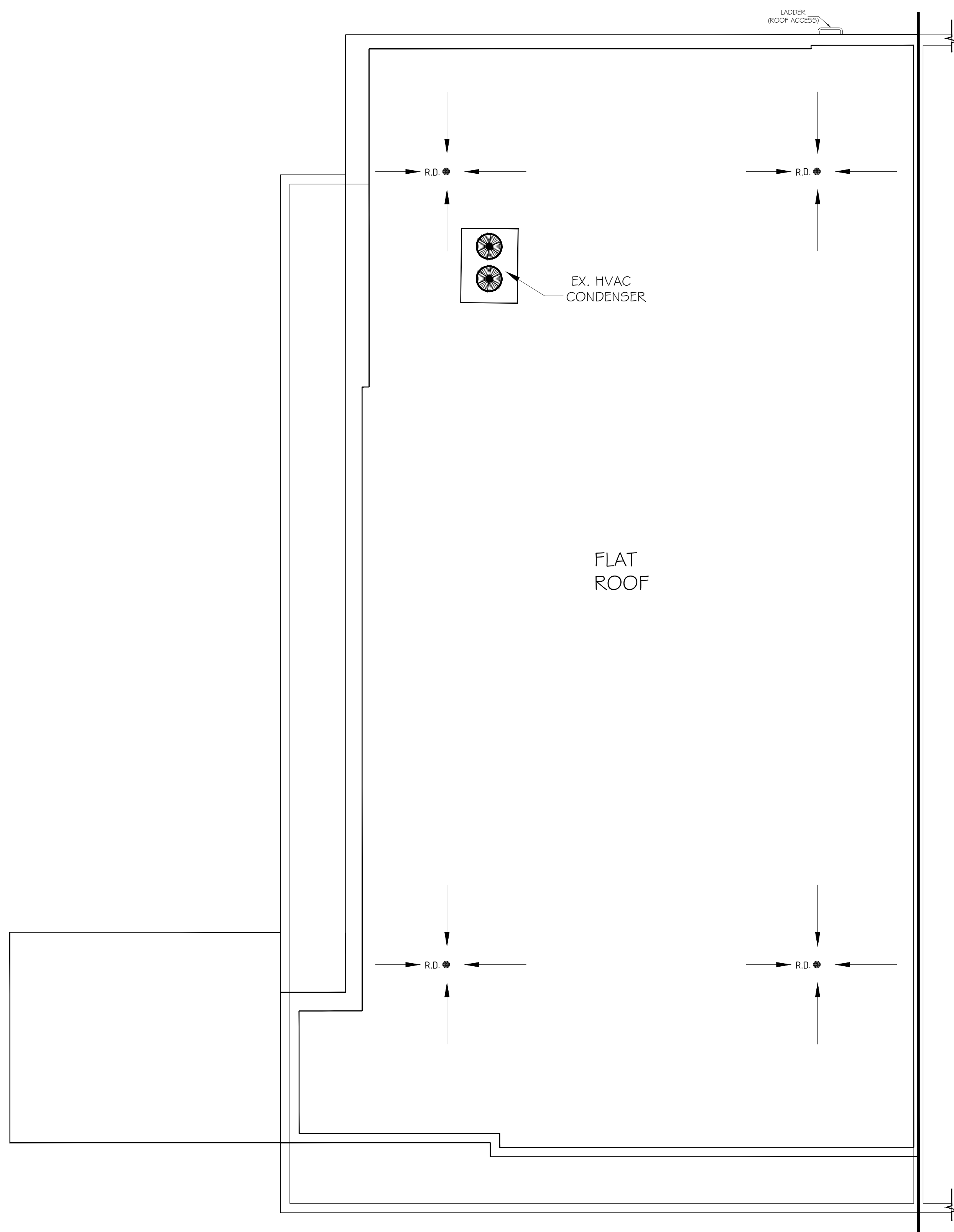
SCALE:
AS SHOWN



SHEET NO.:
A-001.00
3 OF 9



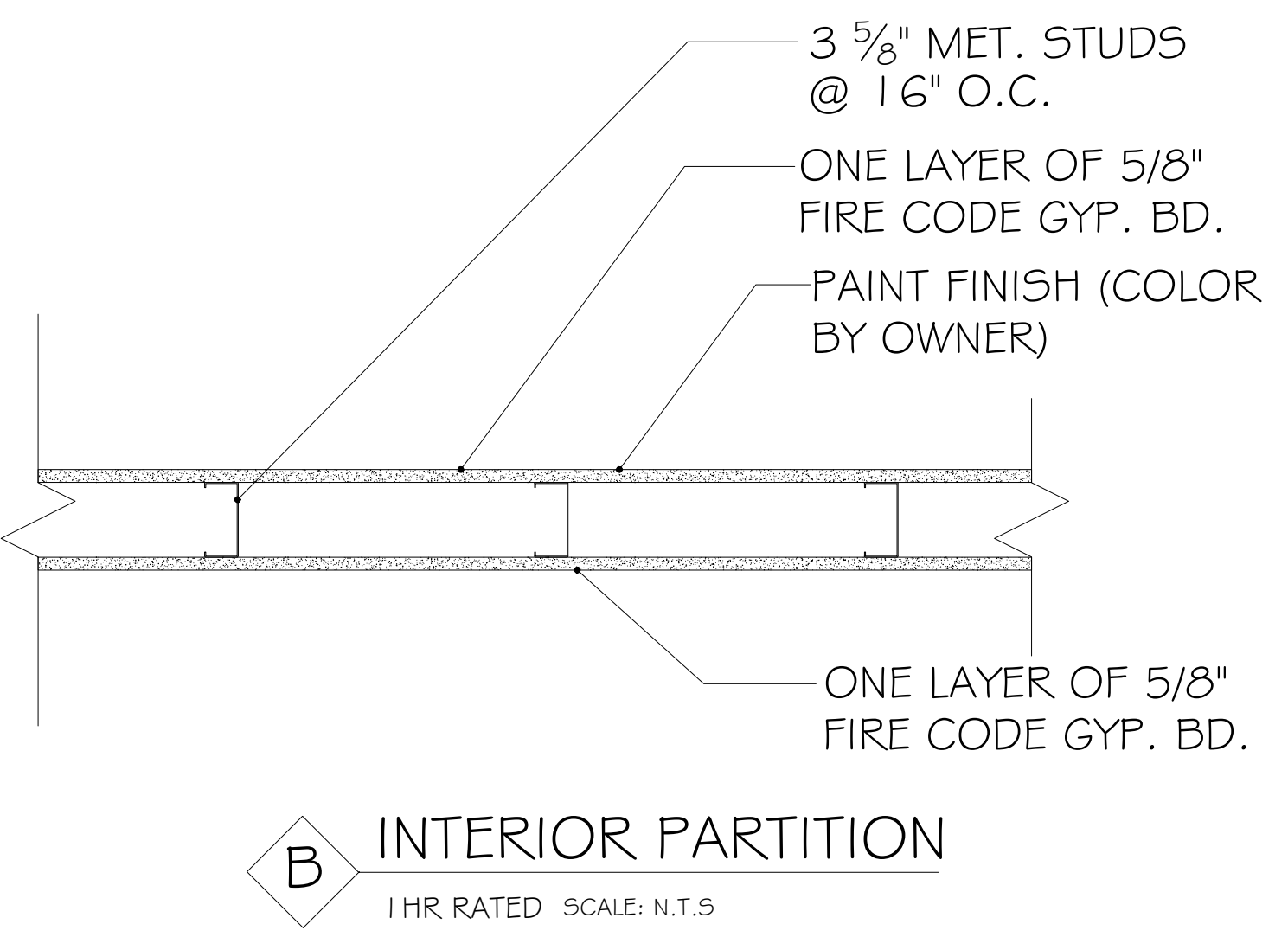
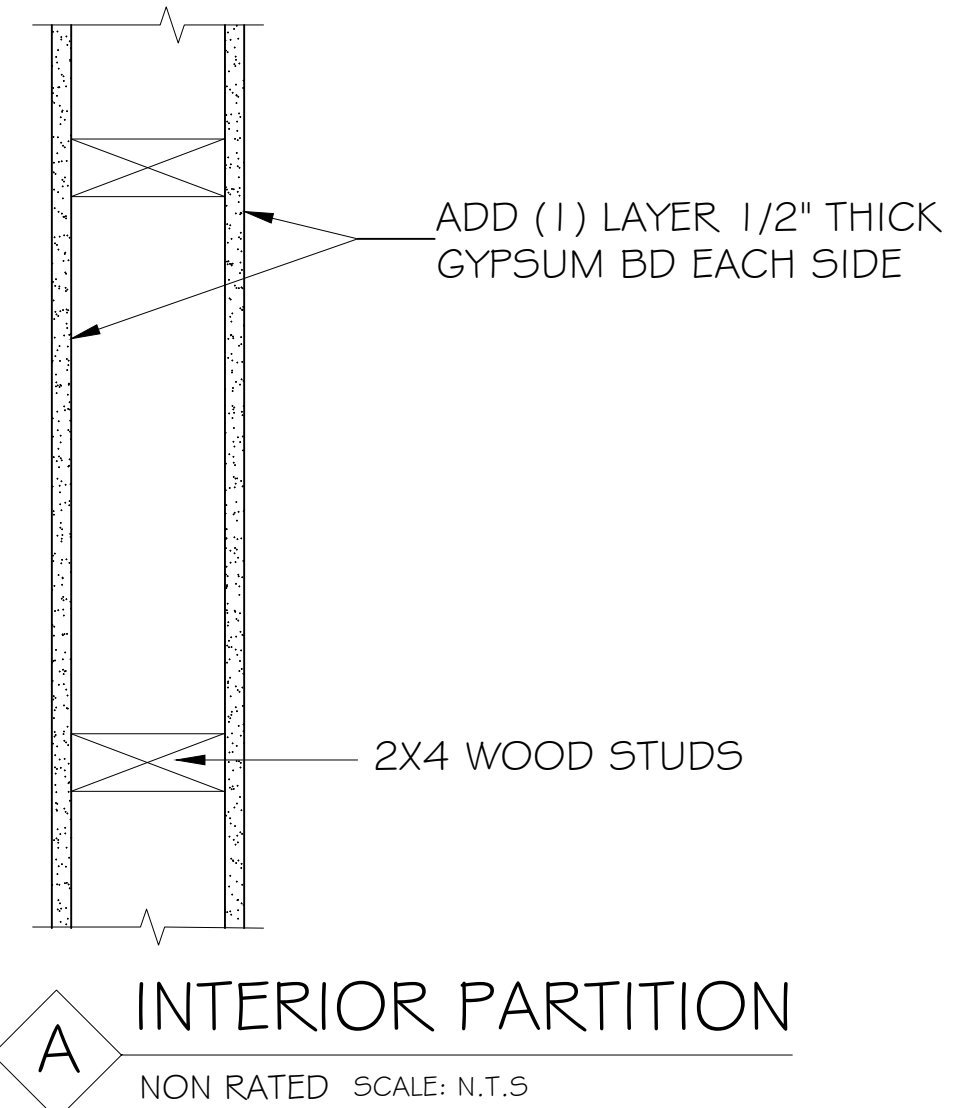
EX./PRO. FIRST FLOOR RESTAURANT PLAN
SCALE: 3/16" = 1'-0"



EX. ROOF PLAN (NO CHANGE)
SCALE: 3/16" = 1'-0"

LEGEND

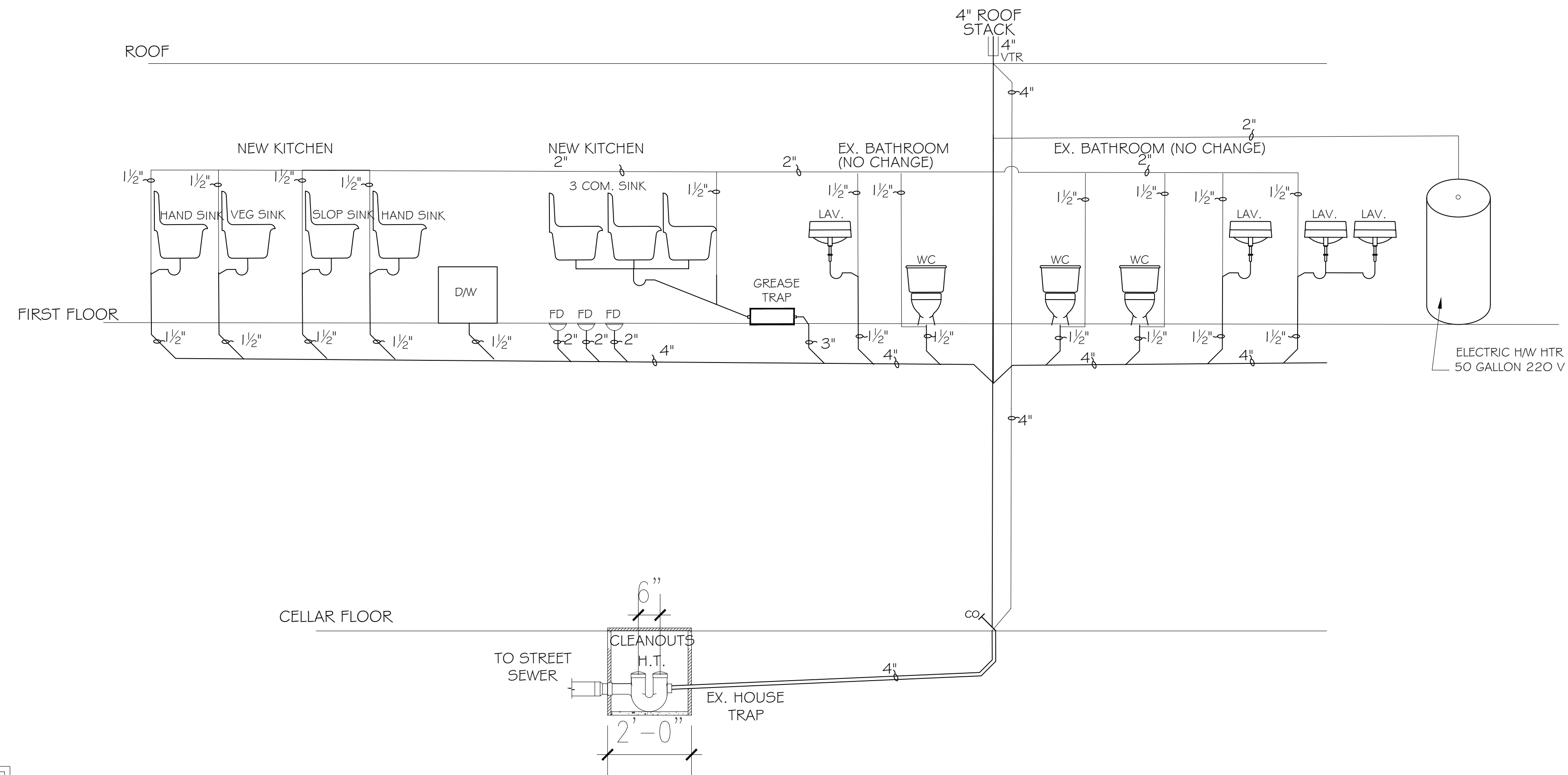
EXISTING WALL		
EXISTING INTERIOR PARTITION WALL		
NEW INTERIOR PARTITION WALL		
NEW INTERIOR PARTITION WALL (1 HR RATED)		
SMOKE/CARBON MONOXIDE DETECTORS (HARD WIRED)		
HIGH EFFICIENCY LIGHT		
EXHAUST FAN		
EMERGENCY LIGHT		
EXIT SIGN		



GENERAL NOTES:

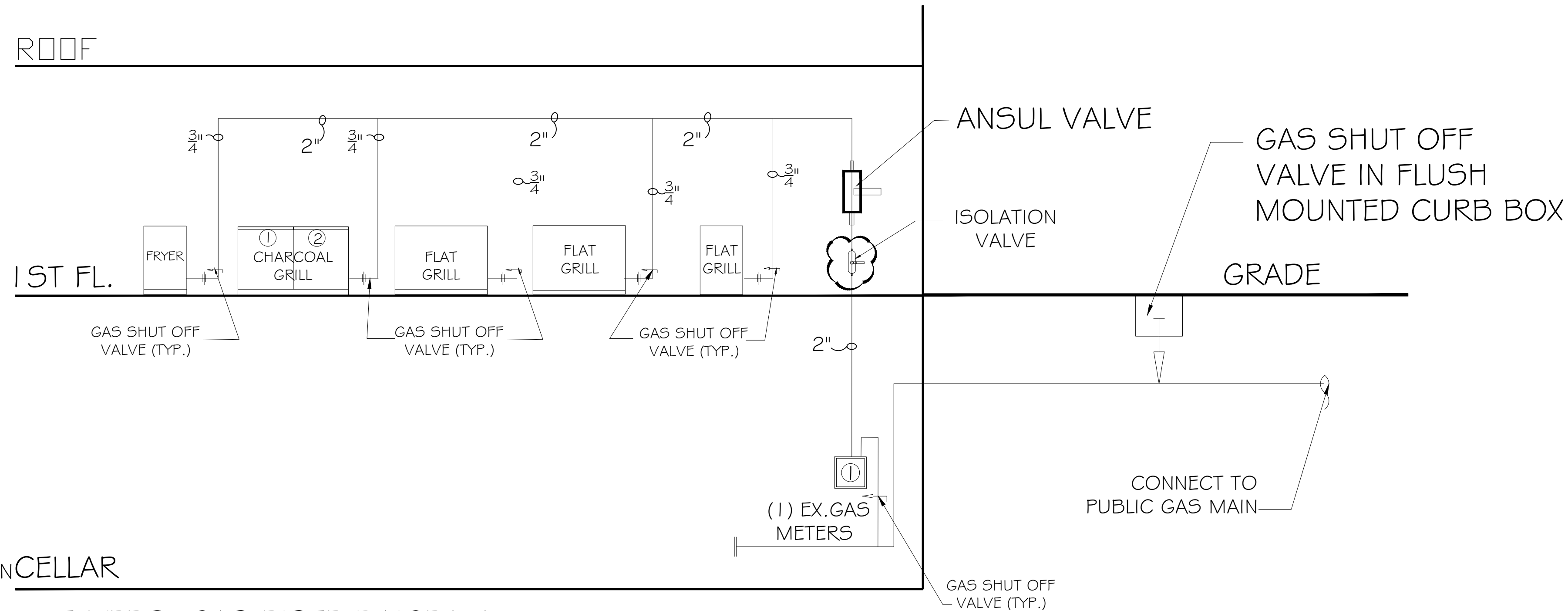
NOTE: ENGINEER IS NOT RETAINED FOR ACTUAL CONSTRUCTION SUPERVISION
ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS,
METHODS, DEVIATIONS, TECHNIQUES, PROCEDURES AND SAFETY PRECAUTIONS
IN CONNECTION WITH THESE PLANS

1. THE ENGINEER HAS BEEN RETAINED FOR REQUIRED CONSTRUCTION INSPECTIONS EXCEPT THE FINAL INSPECTION TO BE PERFORMED BY THE DEPARTMENT OF BUILDINGS.
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF NYC ZONING RESOLUTION AND BUILDING CODE AND SHALL CONFORM TO ALL THE RECOMMENDATIONS OF NYC BUILDING CODE AMENDMENTS: ALL WORK SHALL ALSO CONFORM TO THE REQUIREMENTS OF ANY OTHER AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN AND ARRANGE FOR ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, TESTS AND SURVEYS.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY AMBIGUITIES OR DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. IF ANY QUESTION ARISE BEFORE OR DURING CONSTRUCTION AS TO THE INTENT OR DETAILS OF THE DRAWINGS, THE CONTRACTOR SHALL CALL ENGINEER FOR CLARIFICATION AND/OR INSTRUCTIONS. IF THE CONTRACTOR FAILS TO FOLLOW THE FOLLOWING PROCEDURE, HE SHALL ASSUME ALL THE RESPONSIBILITY FOR THE CONSEQUENCES OF HIS ACTIONS AND/OR DECISIONS
4. THE OWNER SHALL ARRANGE FOR SUPERVISION OF THE CONSTRUCTION WORK TO INSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS.
5. ALL PLUMBING WORK SHALL PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE DEPARTMENT OF BUILDING CODE



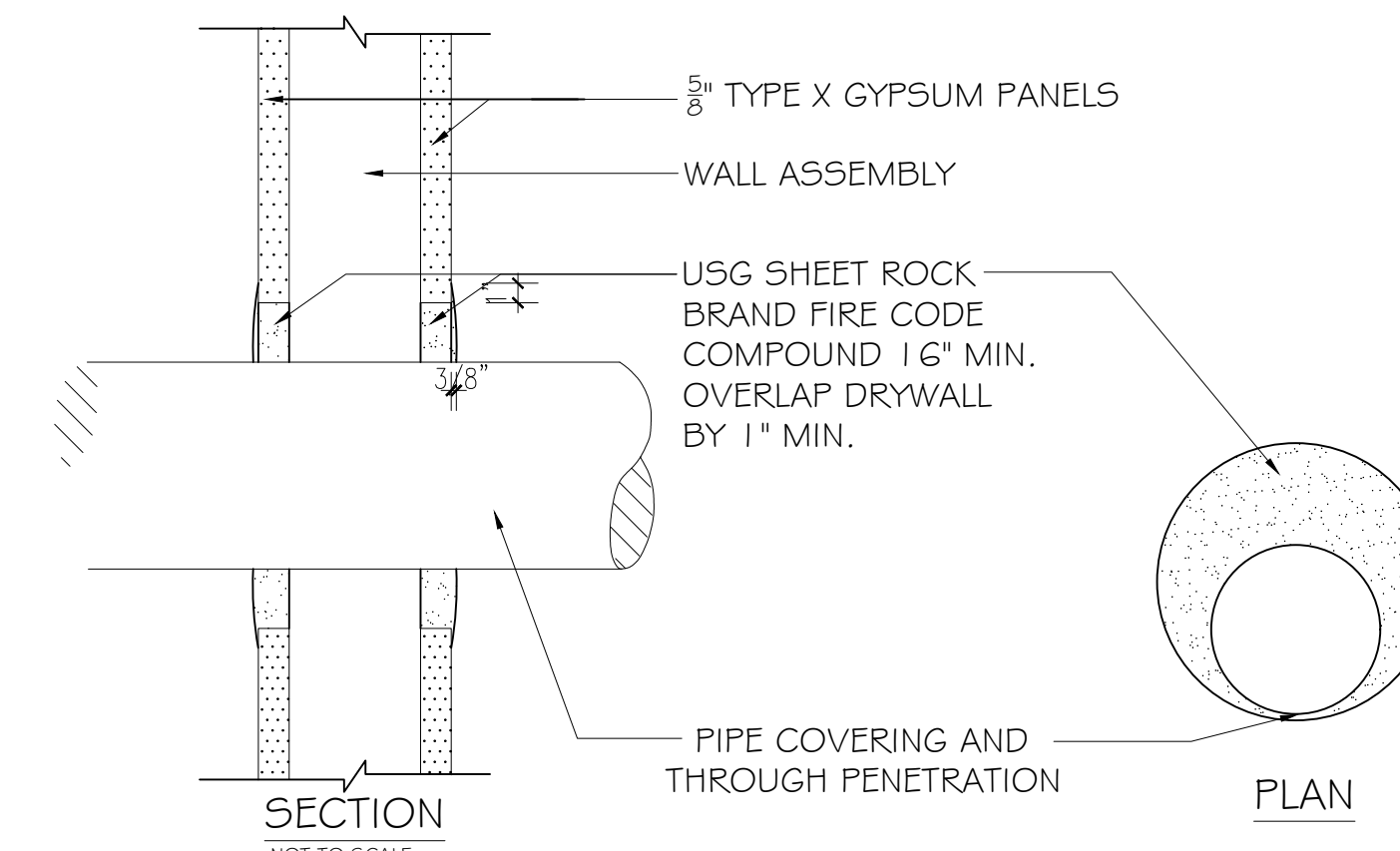
EX./PRO. PLUMBING RISER DAIGRAM

SCALE: 1/2" = 1'-0"



EX./PRO. GAS RISER DAIGRAM

SCALE: 1/2" = 1'-0"



NOTE: SYSTEM NO. W-L-1087 F-RATING 1-HR / T- RATING 0-AND 1-HR

Nasir J. Khanzada L.L.C. Consulting Engineer

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Queens, NY 11432

PHONE NO.: (212) 380-1543
FAX NO.: (718) 989-9200

NOTICE:
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2-IT IS A VIOLATION OF THE NYS EDUCATION LAW FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM IN THIS DRAWING IN ANYWAY. (NYS EDUCATION LAW SEC. 7209-2)

NOTE:
1-THE DRAWING IS FOR PROCUREMENT OF BUILDING PERMIT AND SHALL NOT BE CONSTRUED AS A CONTRACT BETWEEN OWNER AND CONTRACTOR. WRITTEN CONTRACT SUPERCEDES CONSTRUCTION DRAWINGS
2-CONTRACTOR TO VERIFY ALL LOCATIONS, DIMENSIONS AND CONDITIONS AT THE JOB. NOTIFY NASIR J. KHANZADA L.L.C. OF ERRORS, OMISSIONS, DISCREPANCIES OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.

NO.	DATE	DESCRIPTION	BY	CHK'D BY

MAP NO.:	NORTH ARROW
ZONE:	
BLOCK:	
LOT:	

PROJECT LOCATION:
156 DOLSON AVENUE
MIDDLE TOWN, NY. 10940

WORK DESCRIPTION:
CONCERTING TD BANK INTO AN ADOBO MEXICAN GRILL RESTAURANT

SHEET TITLE:
PLUMBING NOTES, PLUMBING AND GAS RISER DAIGRAM

DEPT. OF BLDGS. JOB NUMBER / SCAN CODE:

APPROVED SEAL & SIGNATURE:

SEAL & SIGNATURE: 	INITIAL DATE: 12/24/25
	REVISED DATE:
	CHK. BY:
	SCALE: AS SHOWN

SHEET NO.:

P-001.00

NOTE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH NYCECC, THE ENERGY CONSERVATION CODE OF NEW YORK 2020, CHAPTER C-4

NYC BUILDING DEPARTMENT PLUMBING NOTES

1. ALL LUMBING WORK SHALL COMPLY WITH CHAPTER 4 OF THE 2014 NEW YORK CITY BUILDING CODE. AND CHAPTER 1 THROUGH 13 OF THE NEW YORK CITY PLUMBING
2. PROTECTION OF PIPING AS OUTLINED IN SECTION PC307 SHALL BE PROVIDED AS
3. IN GENERAL, PIPING MATERIALS SHALL BE AS PER SECTION PC 303.
4. CONSTRUCTION AND SPACING OF HANGERS AND SUPPORTS SHALL BE AS DIRECTED IN SECTION PC 308.
5. WATER SUPPLY SYSTEM SHALL BE AS DIRECTED IN SECTIONS PC601 THROUGH PC614 VALVES SHALL BE PROVIDED AT RISERS AND ELSEWHERE AS PER SECTION PC606
6. SANITARY MATERIALS DRAINAGE, SIZING, GRADING AND OFFSET SHALL BE AS OUTLINED IN SECTION PC701 THROUGH PC715
7. CLEAN-OUTS SHALL BE AS PER SECTION PC708
8. TRAPS SHALL BE AS PER SECTION PC1002.
9. VENT MATERIALS, SIZING, GRADING, CONNECTION, LOCATIONS AND OFFSET SHALL BE AS DIRECTED IN SECTION PC901 THROUGH PC919.
10. SPECIAL AND MISCELLANEOUS PIPING SHALL BE AS DIRECTED IN SECTION PC1201 THROUGH 1204.

TABLE 11 - PROGRESS INSPECTIONS FOR ENERGY CODE COMPLIANCE 2016 - CHAPTER C-4 BUILDINGS

IIC ELECTRICAL POWER AND LIGHTING SYSTEMS				
IIC 1	ELECTRICAL ENERGY CONSUMPTION: THE PRESENCE AND OPERATION OF INDIVIDUAL METERS OR OTHER MEANS OF MONITORING INDIVIDUAL APARTMENTS SHALL BE VERIFIED BY VISUAL INSPECTION FOR ALL APARTMENTS AND WHERE REQUIRED IN A COVERED TENANT SPACE.	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.7
IIC 2	LIGHTING IN DWELLING UNITS: LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE VISUALLY INSPECTED TO VERIFY COMPLIANCE WITH HIGH-EFFICACY REQUIREMENTS.	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.1; ASHRAE 90.1 - 9.1.1
IIC 3	INTERIOR LIGHTING POWER: INSTALLED LIGHTING SHALL BE VERIFIED FOR COMPLIANCE WITH THE LIGHTING POWER ALLOWANCE BY VISUAL INSPECTION OF FIXTURES, LAMPS, BALLASTS AND TRANSFORMERS.	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.5, C406.3; ASHRAE 90.1 - 9.1, 9.2, 9.5, 9.6; I RCNY § 101 -07(C)(3)(V)(C)4
IIC 4	EXTERIOR LIGHTING POWER: INSTALLED LIGHTING SHALL BE VERIFIED FOR COMPLIANCE WITH SOURCE EFFICACY AND/OR THE LIGHTING POWER ALLOWANCE BY VISUAL INSPECTION OF FIXTURES, LAMPS, BALLASTS AND RELEVANT TRANSFORMERS.	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.6; ASHRAE 90.1 - 9.4.3, I RCNY § 101 -07(C)(3)(V)(C)4
IIC 5	LIGHTING CONTROLS: EACH TYPE OF REQUIRED LIGHTING CONTROLS, INCLUDING: OCCUPANT SENSORS, MANUAL INTERIOR LIGHTING CONTROLS, LIGHT-REDUCTION CONTROLS, AUTOMATIC LIGHTING SHUT-OFF, DAYLIGHT ZONE CONTROLS, SLEEPING UNIT CONTROLS, EXTERIOR LIGHTING CONTROLS, SHALL BE VERIFIED BY VISUAL INSPECTION AND TESTED FOR FUNCTIONALITY AND PROPER OPERATION.	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS, INCLUDING CONTROL SYSTEM NARRATIVES	C405.2, ASHRAE 90.1 - 9.4.1, (AS MODIFIED BY SECTION ECC A102)
IIC 6	EXIT SIGNS: INSTALLED EXIT SIGNS SHALL BE VISUALLY INSPECTED TO VERIFY THAT THE LABEL INDICATES THAT THEY DO NOT EXCEED MAXIMUM PERMITTED WATTAGE.	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.4; ASHRAE 90.1 - 9.4.2
IID OTHER				
IID 1	MAINTENANCE INFORMATION: MAINTENANCE MANUALS FOR MECHANICAL SERVICE HOT WATER AND ELECTRICAL EQUIPMENT AND SYSTEMS REQUIRING PREVENTIVE MAINTENANCE SHALL BE REVIEWED FOR APPLICABILITY TO INSTALLED EQUIPMENT AND SYSTEMS BEFORE SUCH MANUALS ARE PROVIDED TO THE OWNER. LABELS REQUIRED FOR SUCH EQUIPMENT OR SYSTEMS SHALL BE INSPECTED FOR ACCURACY AND COMPLETENESS.	PRIOR TO SIGN-OFF OR ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY	APPROVED CONSTRUCTION DOCUMENTS, INCLUDING ELECTRICAL DRAWINGS WHERE APPLICABLE; ASHRAE GUIDELINE 4: PREPARATION OF OPERATING AND MAINTENANCE DOCUMENTATION FOR BUILDING SYSTEMS	C303.3, C408.2.5.2; ASHRAE 90.1 - 4.2.2.3, 6.7.2.2, 8.7.2, 9.7.2.2

NOTE
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE NYCECC- NEW YORK CITY ENERGY CONSERVATION CODE 2020, CHAPTER C-4

SYSTEM COMMISSIONING IS NOT REQUIRED
ECC C408 COMMERCIAL ENERGY EFFICIENCY SYSTEMS COMMISSIONING IS NOT REQUIRED WHEN MECHANICAL, RENEWABLE ENERGY, AND SERVICE HOT WATER SYSTEMS IN BUILDING WHERE THE TOTAL MECHANICAL EQUIPMENT CAPACITY BEING INSTALLED IS LESS THAN 480,000 BTU / HR. (1 40690) COOLING CAPACITY AND 600,000 BTU/HR. (1 75,000W) HEATING CAPACITY.

NOTE
PER C408.2.5 THE CONSTRUCTION DOCUMENTS SHALL BE SPECIFY THAT THE DOCUMENTS DESCRIBED IN SECTION C408.2.5.1 THROUGH C408.2.5.3 BE PROVIDED TO THE BUILDING OWNER OR OWNER'S AUTHORIZED AGENT WITHIN 90 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY OR LETTER OF COMPLETION.

ENERGY CODE PROGRESS INSPECTION
INTERIOR LIGHTING POWER (IC2),(IIC3)
LIGHTING CONTROLS (IIC5)

Nasir J. Khanzada L.L.C.
Consulting Engineer

181-24 Hillside Avenue
Queens, NY 11432

PHONE NO.: (212) 380-1543
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NOTICE:
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NO.	DATE	DESCRIPTION	BY	CHK'D BY

MAP NO.: NORTH ARROW
ZONE:
BLOCK:
LOT:


PROJECT LOCATION:
156 DOLSON AVENUE
MIDDLE TOWN, NY. 10940

WORK DESCRIPTION:
CONCERTING TD BANK INTO AN ADOBO MEXICAN GRILL RESTAURANT

SHEET TITLE:
ENERGY ANALYSES

DEPT. OF BLDGS. JOB NUMBER / SCAN CODE:

APPROVED SEAL & SIGNATURE:

SEAL & SIGNATURE:  INITIAL DATE: 12/24/25
REVISED DATE:
CHK. BY:
SCALE: AS SHOWN

SHEET NO.: EN-001.00
7 OF 9

NOTICE:
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NO.	DATE	DESCRIPTION	BY	CHK'D BY

MAP NO.: NORTH ARROW
ZONE:
BLOCK:
LOT:

PROJECT LOCATION:
156 DOLSON AVENUE
MIDDLE TOWN, NY. 10940

WORK DESCRIPTION:
CONCERTING TD BANK
INTO AN ADOBO MEXICAN
GRILL RESTAURANT

SHEET TITLE:
EX./PROPOSED HVAC ROOF PLAN,
NOTES AND LEGEND

DEPT. OF BLDGS. JOB NUMBER / SCAN CODE:

APPROVED SEAL & SIGNATURE:

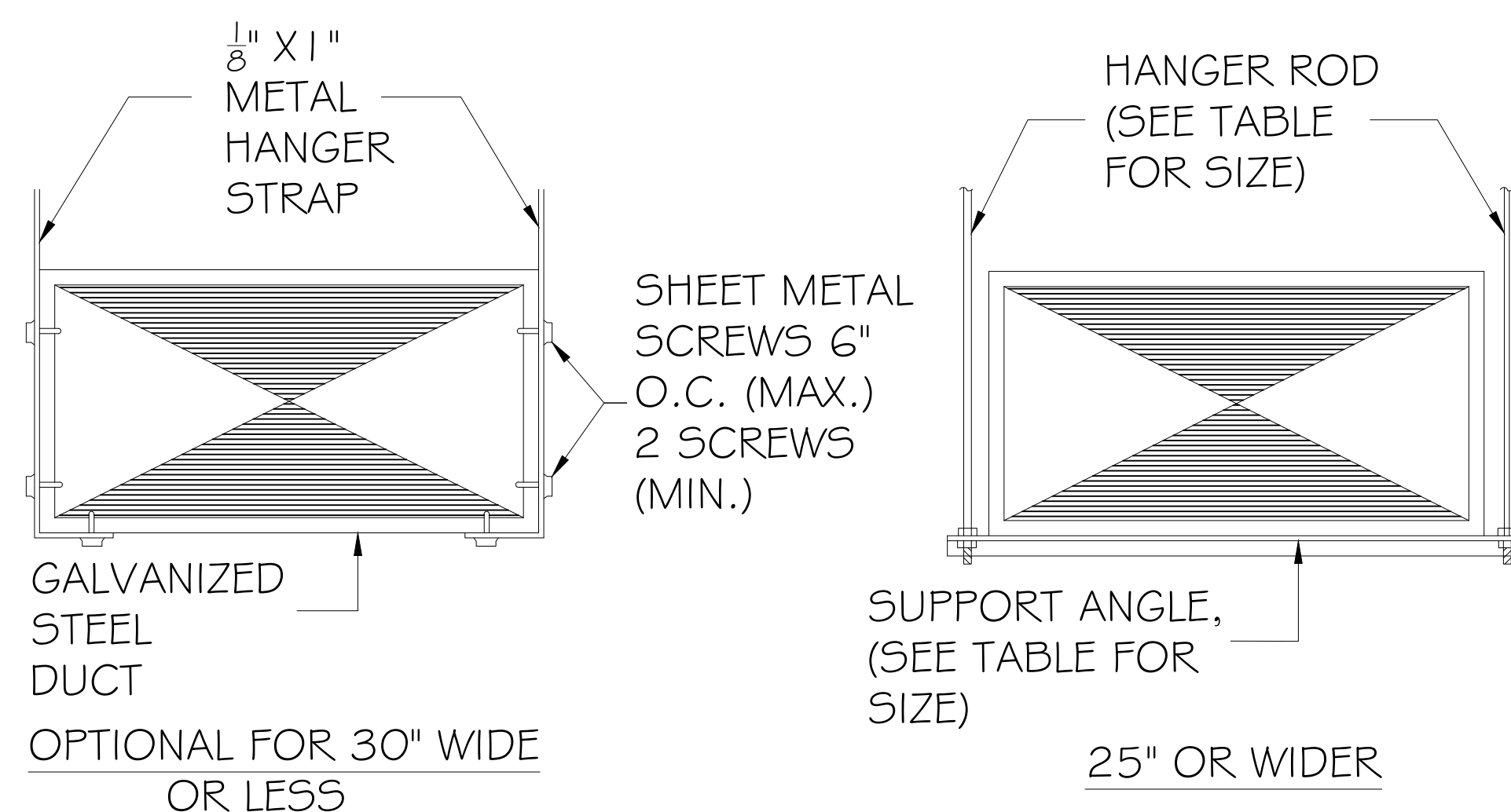
SEAL & SIGNATURE: INITIAL DATE:



12/24/25
REVISED DATE:
CHK. BY:
SCALE:
AS SHOWN

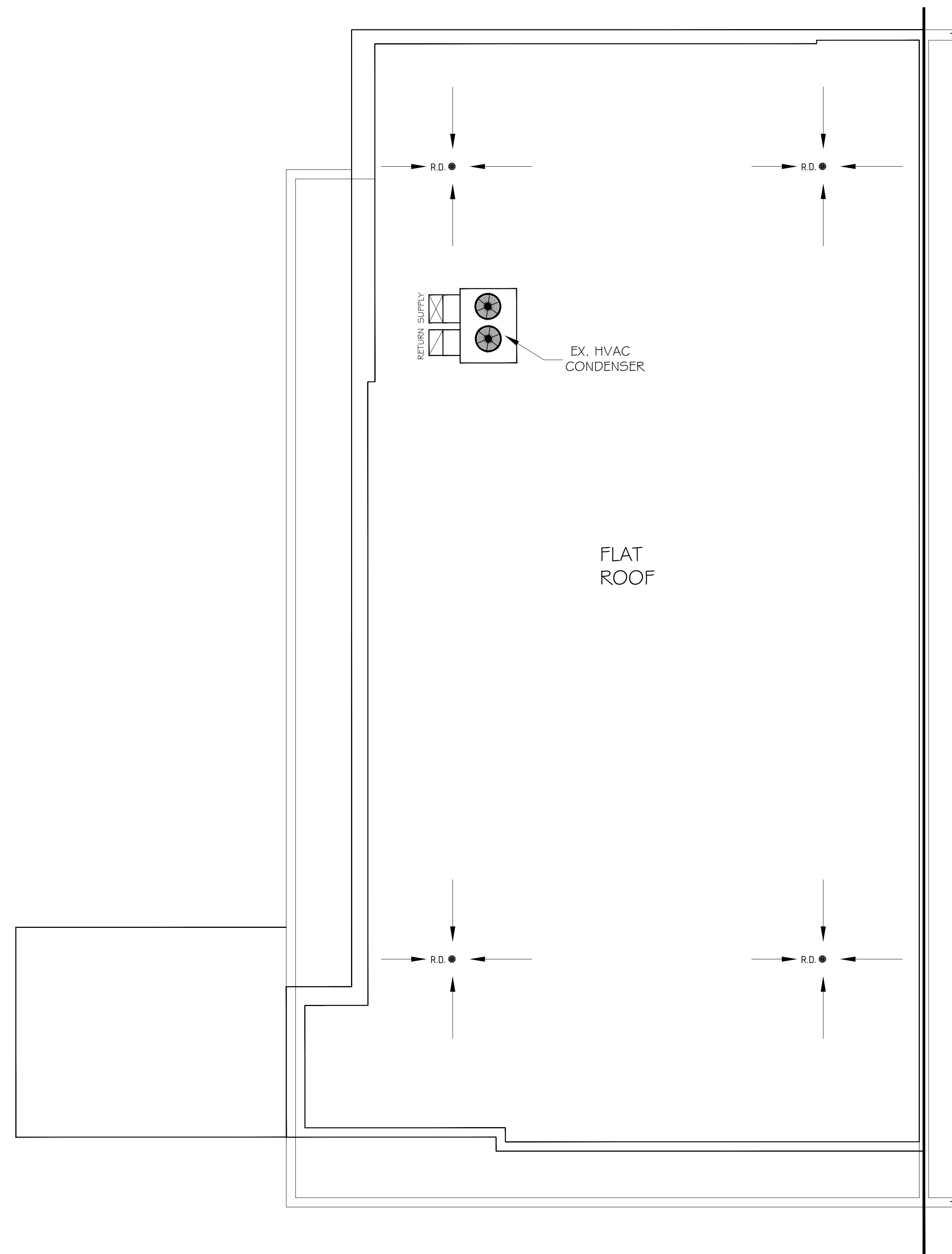
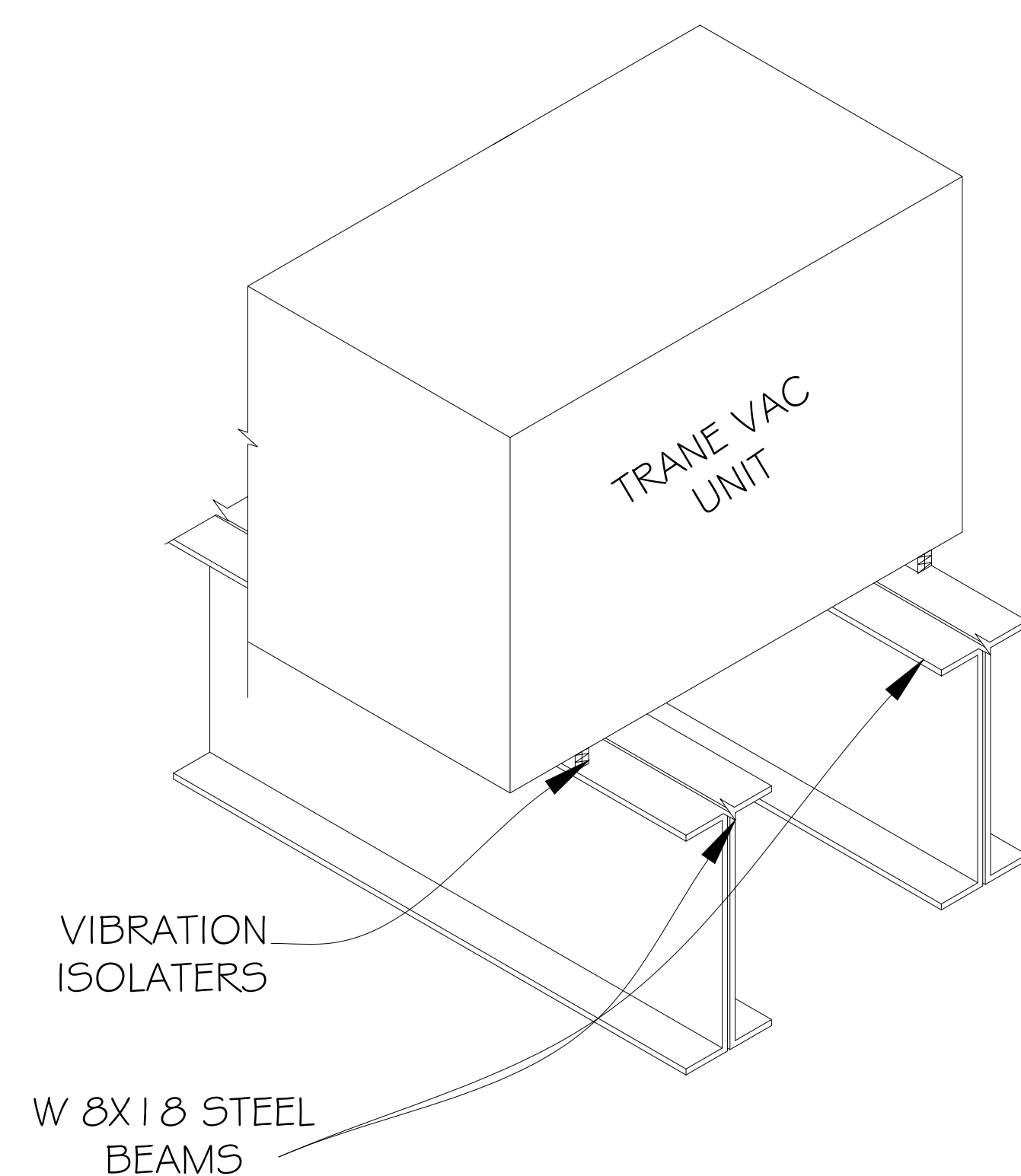
SHEET NO.:

M-001.00



DUCT WIDTH	ROD DIA.	SUPPORT ANGLE OR EQUIVALENT CHANNEL	MAX. SPACING
26" TO 30"	3/8"	1 1/2" X 1 1/2" X 1/8"	8'-0" O.C
31" TO 42"	3/8"	1 1/2" X 1 1/2" X 1/8"	6'-0" O.C
43" TO 60"	1/2"	1 1/2" X 1 1/2" X 1/8"	6'-0" O.C
61" TO 84"	1/2"	2" X 2" X 1/4"	4'-0" O.C
85" AND UP	1/2"	3" X 3" X 1/4"	4'-0" O.C

1 DUCT SUPPORT DETAIL
M4.0 NOT TO SCALE



EX. HVAC ROOF PLAN (NO CHANGE)
SCALE: 3/16" = 1'-0"