

**CITY OF MIDDLETOWN
PLANNING BOARD MEETING AGENDA
NOVEMBER 5, 2025 7:00 PM
COMMON COUNCIL CHAMBERS
AND VIA DIGITAL TOWN HALL**

Meeting Called By: Anthony Capozella, Planning Board Commissioner
Clerk: Martina Tu, Clerk

Members: Dan Higbie, Richard McCormack, Gretchen Witt, Anthony Capozella, Andy Britto, Dave Madden, Yasmin Dupre

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. APPROVAL OF MINUTES
 - 3.1. Accept the Minutes of October 1, 2025
4. NEW BUSINESS

Sobo & Sobo Holdings LLC — referral to the ZBA for an area variance

Request of I’Jala Wilson Retriegue, for a special use permit and site plan approval in order to have an educational facility for adults, located at 39 North Street, Middletown

Request of Laura Scott, for a special use permit to have a full liquor license at an existing eating and drinking establishment located at 45-53 North Street, Middletown

Request of Maricela Godinez for a special use permit and site plan approval in order to have an eating and drinking establishment with a beer and wine liquor license located at 99 North Street, Middletown

Request of Dewitt Acquisitions, for a special use permit and site plan approval for a gasoline station and convenience store, located at 16 and 18 County Highway 78, Middletown

Request of Action Toward Independence Inc., for a special use permit and site plan approval in order to have offices for various peer counseling services and educational support, located at 301-307 North Street, Middletown

Request of Kimberly Serrano for a special use permit and site plan approval in order to have a café serving coffee and pressed sandwiches, located at 6-8 North Street, Middletown

Request of Latisha Mapp for a special use permit and site plan approval in order to have a retail store, located at 23-27 West Main Street, Middletown

5. ADJOURNMENT



**CITY OF MIDDLETOWN, NEW YORK
PLANNING BOARD
RECORD OF VOTE**

THE FOLLOWING WAS PRESENTED

By: None
 Seconded by: None
 Date of Adoption: November 5, 2025
 Resolution Number

Names	Ayes	Noes	Abstain	Absent
Mr. Madden				
Mr. McCormack				
Mr. Britto				
Mrs. Witt				
Mrs. Dupre				
Mr. Higbie				
Chairman Cappozella				
Total				

Filed with the Clerk of the City of Middletown on: November 5, 2025

Richard P. McCormack
Sobo & Sobo Holdings LLC — referral to the ZBA for an area variance

Prepared by:

Attachments:

1.	20 preston-001
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APPLICATION

PLANNING BOARD

City of Middletown, New York

Date deemed complete _____ Date _____
Accepted by _____

Items 1, 2 and 3 are required to be completed

1. Address of Subject Property 30 PRESTON STREET

Section 37 Block 7 Lot 20821 Current Zoning District C-2

Building Existing New _____

2. Owner of Property SABO & SORO HOLDINGS LLC

Owner's Address 1 DOLSON AVE

City MIDDLETOWN State NY Zip 10940

Phone numbers: Home: _____

Business: 845-343-7626

Cell: _____

3. Applicant name _____

If different from Owner

Applicants Address _____

City _____ State _____ Zip _____

Phone numbers: Home: _____

Business: _____

Cell: _____

Fax: _____

4. **Special Use Permits/Site Plan Approval.** An approval for a special use permit and/or site plan approval is hereby requested. In the space provided indicate the section(s) and classification(s) of the occupancy for which you are seeking a special use permit. Included all uses which are currently or will be in the subject property. All dimensions shall be listed in the space provided. Refer to the tables at the rear of the Zoning Ordinance for requirements in UR-3, SR-3, SR-3A and SR-3B districts. Additional sheets may be attached if required.

Section # 475-20 C11) (P)

Classification of Occupancy requested LAUNDRY OFFICE

Description of what you are requesting: COURT TO OFFICE

BUILDING FOR SUPPORT STAFF

Uses currently in property: VACANT PREVIOUS AUTO BODY

SHOP

Title	Section Number	Required Dimensions	Actual Dimensions
Lot area	<u>475-20 D</u>	<u>7500 sq FT</u>	<u>17249 sq FT</u>
Front yard	<u>FCD(a)</u>	<u>25'</u>	<u>15.3'</u>
Rear yard	<u>FCD(c)</u>	<u>20'</u>	<u>48.2'</u>
Side yard	<u>FCD(b)</u>	<u>5'</u>	<u>9.4'</u>
Side yard	<u>FCD(b)</u>	<u>5'</u>	<u>5.0'</u>
Parking			

Answer this section only for multiple dwellings

Lot coverage _____
Building height _____
Open Space _____
Playlot _____
Livable floor area _____
Number of Bedrooms _____

5. **Nonconforming Use.** In the area provided, list each use for which an expansion is sought and the reason therefore. State the current use and all conditions that presently exist and those that will be created. Refer to the excerpt from the Zoning Ordinance Section 475-44. Additional sheets may be attached if required.

PRESENT BUILDING IS SET BACK 15.3' FROM
STREET CODE § 475-20 (F)(1)(a) PROVIDES
A 25' SETBACK VARIANCE OF 9.7' IS
REQUESTED TO USE EXISTING BUILDING
AS IS.

6. **Fence and/or Parking Nonconformance.** In the area provided, list the reason(s) requested for all conditions which are not in conformance with the regulations. Indicated the requirement(s) and the amount of relief requested. Additional sheets may be attached if required.

7. Sign at the Place Indicated 3080 d Soto Holdings LLC

Signature: 

Printed Name and Title: GREGORY SOTO, MEMBER

Date: 7/31/2025

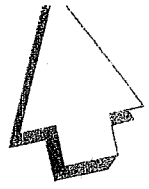
SOBO & SOBO HOLDINGS

CITY OF MIDDLETOWN
SCALE: 1"=30'

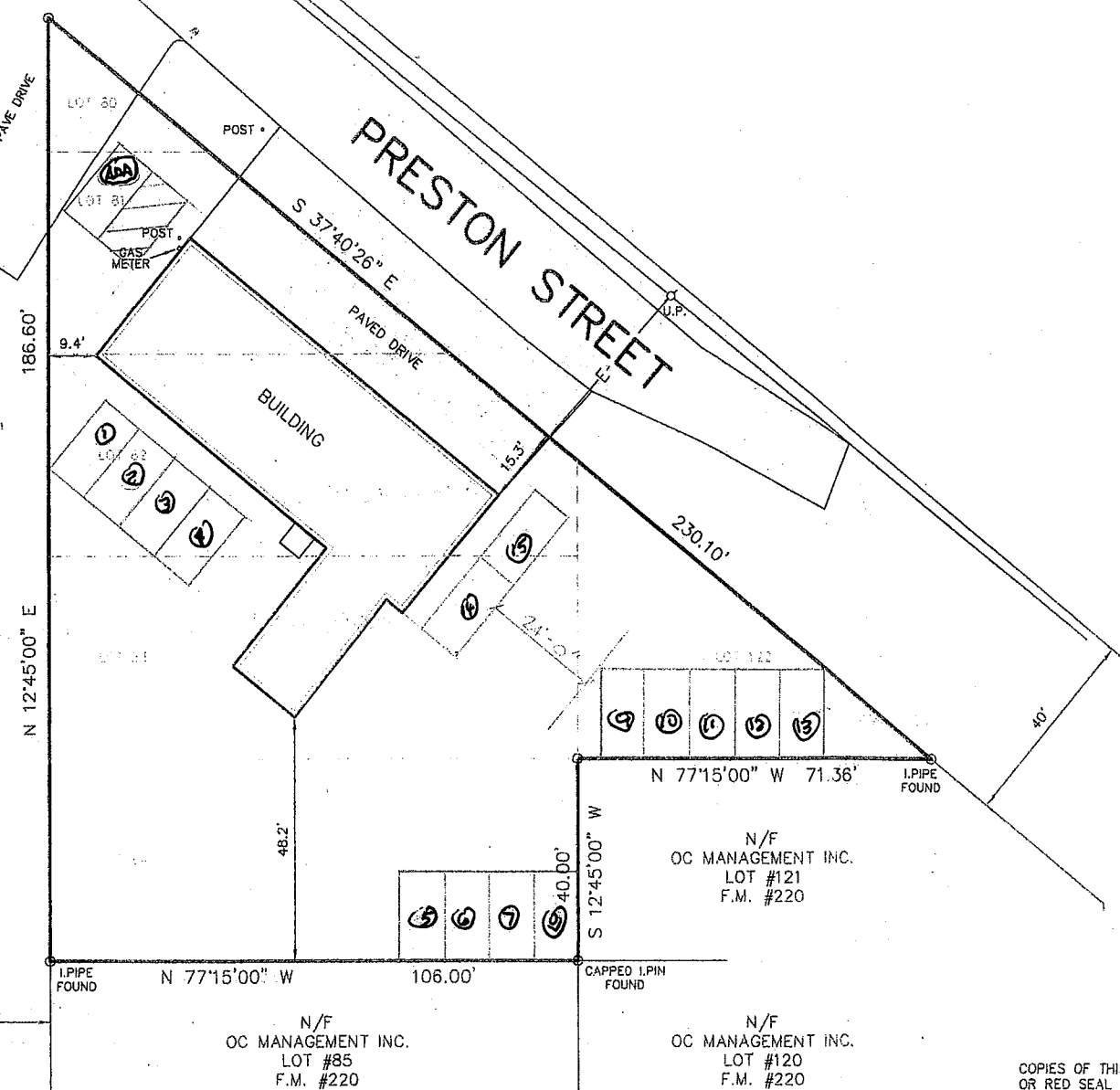
FEBRUARY 23, 2023 TOTAL

REFERENCE: BEING LOTS 80, 81, 82, 83, 84 & 122 AS SHOWN
" MAP OF POTTER REALTY COMPANY'S PROPERTY
O.C.C.O. ON JUNE 15, 1912, AS MAP No. 220.

CERTIFIED TO: SOBO & SOBO HOLDINGS LLC, TO BE CORRECT



BYRON AVENUE
(UNIMPROVED)



PROPOSED PARKING

OFFICE S

TOTAL SF OF BUILDING = 2880 SF

+ 300 SF (ONE SPACE PER 100 SF)

TOTAL = 9.6 SPACES REQUIRED

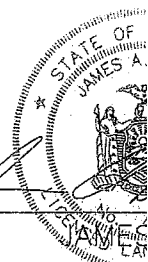
N/F
OC MANAGEMENT INC.
LOT #85
F.M. #220

N/F
OC MANAGEMENT INC.
LOT #121
F.M. #220

N/F
OC MANAGEMENT INC.
LOT #120
F.M. #220

COPIES OF THIS SURVEY NOT BEARING THE EMBOSSED SEAL
OR RED SEAL OF THE LAND SURVEYOR SHALL NOT BE VALID.
GUARANTEES OF CERTIFICATIONS ARE NOT TRANSFERABLE
TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

UNAUTHORIZED ALTERATION OF THIS DOCUMENT, IN ANY
WAY, CONSTITUTES A VIOLATION OF THE STATE OF NEW
YORK EDUCATION LAW SECTION 7209 (2).



PROFES
GOSHEN



**CITY OF MIDDLETOWN, NEW YORK
PLANNING BOARD
RECORD OF VOTE**

THE FOLLOWING WAS PRESENTED

By: None
 Seconded by: None
 Date of Adoption: November 5, 2025
 Resolution Number

Names	Ayes	Noes	Abstain	Absent
Mr. Madden				
Mr. McCormack				
Mr. Britto				
Mrs. Witt				
Mrs. Dupre				
Mr. Higbie				
Chairman Cappozella				
Total				

Filed with the Clerk of the City of Middletown on: November 5, 2025

Richard P. McCormack

Request of I’Jala Wilson Retriegue, for a special use permit and site plan approval in order to have an educational facility for adults, located at 39 North Street, Middletown

WHEREAS, I’Jala Wilson Retriegue, filed an application with the Planning Board of the City of Middletown, seeking a special use permit and site plan approval in order to have an educational facility for adults, located at 39 North Street, Middletown. Section 31, Block 7, Lot 26.2., located in the DMU Zone which is a permitted use.

WHEREAS, after due notice public hearing was held by the Planning Board on November 5, 2025 at 7:00 p.m. in the Common Council Chambers, City Hall, Middletown, New York, and

WHEREAS, according to the SEQRA review, this is determined to be a Type II action as it falls under the maintenance/repair and upgrade section. Therefore, no further review is necessary and Lead agency and Negative Declaration is not required.

WHEREAS, at said hearing all those who desired to be heard were heard and their testimony recorded, and all testimony has been carefully considered.

NOW THEREFORE BE IT RESOLVED that the Planning Board of the City of Middletown

hereby approves the application of I'Jala Wilson Retriegue, for a special use permit and site plan approval for order to have an educational facility for adults, located at 39 North Street, Middletown.

Hours of operation are Monday through Friday 10:00 a.m. to 6:00 p.m. daily.

SUBJECT TO: City of Middletown DPW and City of Middletown Fire Department inspections and approvals and, when necessary, approval of the Commissioner of Public Works.

The applicant will obtain all necessary permits and follow the permitting process, codes, and ordinances of the City of Middletown, County of Orange, and the State of New York, if applicable.

In addition, if throughout any of the review process the project is deemed to require Bulk Requirement Tables, the applicant will supply said tables through an architect or engineer licensed in the State of New York.

SUBJECT TO: Any items as stated in: submitted PB application, Public Hearing, Board discussion, City Inspectors' input, PB Engineer, and PB Attorney's recommendations. Information submitted within the application will become part of the record, and the applicant will follow through on and to be held to.

THEREFORE: The applicant is only allowed to use the space as designated in the application and resolution. Any changes in building structure and/or use, applicant will need to seek PB approval, if applicable.

WHEREAS this application is located in the DMU Zone, applicants must submit and receive approval from the Department of Public Works according to Chapter 407 Solid Waste, Article II Collection, §407-3, Collection, and comply with this section and any other sections enacted by the Common Council from this date forward.

WHEREAS this application is located in the DMU Zone, applicants must submit and receive approval on all façade work, exterior work in general and exterior signage from the Architectural Review Board.

WHEREAS this application is located in the DMU Zone and parking requirements are waived as per the code.

WHEREAS, Pursuant to the City of Middletown Code, Chapter 475, Article 4, Administration and Enforcement, Chapter 475-53, Paragraph E-6, unless work is commenced and diligently prosecuted within six months and completed within two years of the date of granting a Special Use Permit, such Special Use Permit shall be null and void.

If no work is done in the next six months, the applicant will need to submit a request for a six-month extension of the Planning Board approval.

Prepared by:

Attachments:

1.	39 north-003
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APPLICATION

PLANNING BOARD

City of Middletown, New York

Date deemed complete _____
Accepted by _____

Date 7/29/25

Items 1, 2 and 3 are required to be completed

1. Address of Subject Property 39 North Street, Middletown, NY 10940

Section 31 Block 7 Lot 26-2

Current Zoning District DMU

Building Existing X New _____

2. Owner of Property Sengg Inc

Owner's Address PO Box 4836

City Middletown State NY Zip 10941

Phone numbers: Home: Seng

Business: 845-341-1700

Cell: Seng

3. Applicant name ISALA Wilson-Betrieque

If different from Owner

Applicants Address 26 Red Barn Ln

City Middletown State NY Zip 10940

Phone numbers: Home: 7186793355

Business: _____

Cell: _____

Fax: _____

OWNER'S ENDORSEMENT

COUNTY OF ORANGE
STATE OF NEW YORK

SENQA INC being duly sworn, deposes and says that

he/she resides at P.O. Box 4836
MIDDLETOWN NY 10941

in the County of ORANGE and State of NY and that he/she is the

owner in fee or SECRETARY of the SENQA INC
OFFICIAL TITLE

Corporation which is the owner in fee of the premises described in the foregoing application and that

he/she has authorized Margaret Foley to make the foregoing
Secretary
application for approval as described herein.

Sworn before me this 11th day of JUNE 2015

Blythe L. Jung
Notary Public

BLYTHE L. JUNG
Notary Public, State of New York
Qualified in Orange County
My Commission Expires Feb. 18, 2016

Margaret Foley
OWNER'S SIGNATURE

Planning Board Verbal Presentation Script

Good [morning/afternoon], Planning Board members.

My name is I'Jala Wilson-Retrieque. I'm the founder and CEO of Get Flawless by IJala Hair and Beauty, a Black-owned, four-time award-winning salon in the Hudson Valley. I'm here today to share with you an exciting expansion of my work—Get Flawless Pro—a professional development and education platform rooted in empowerment, skill-building, and mentorship.

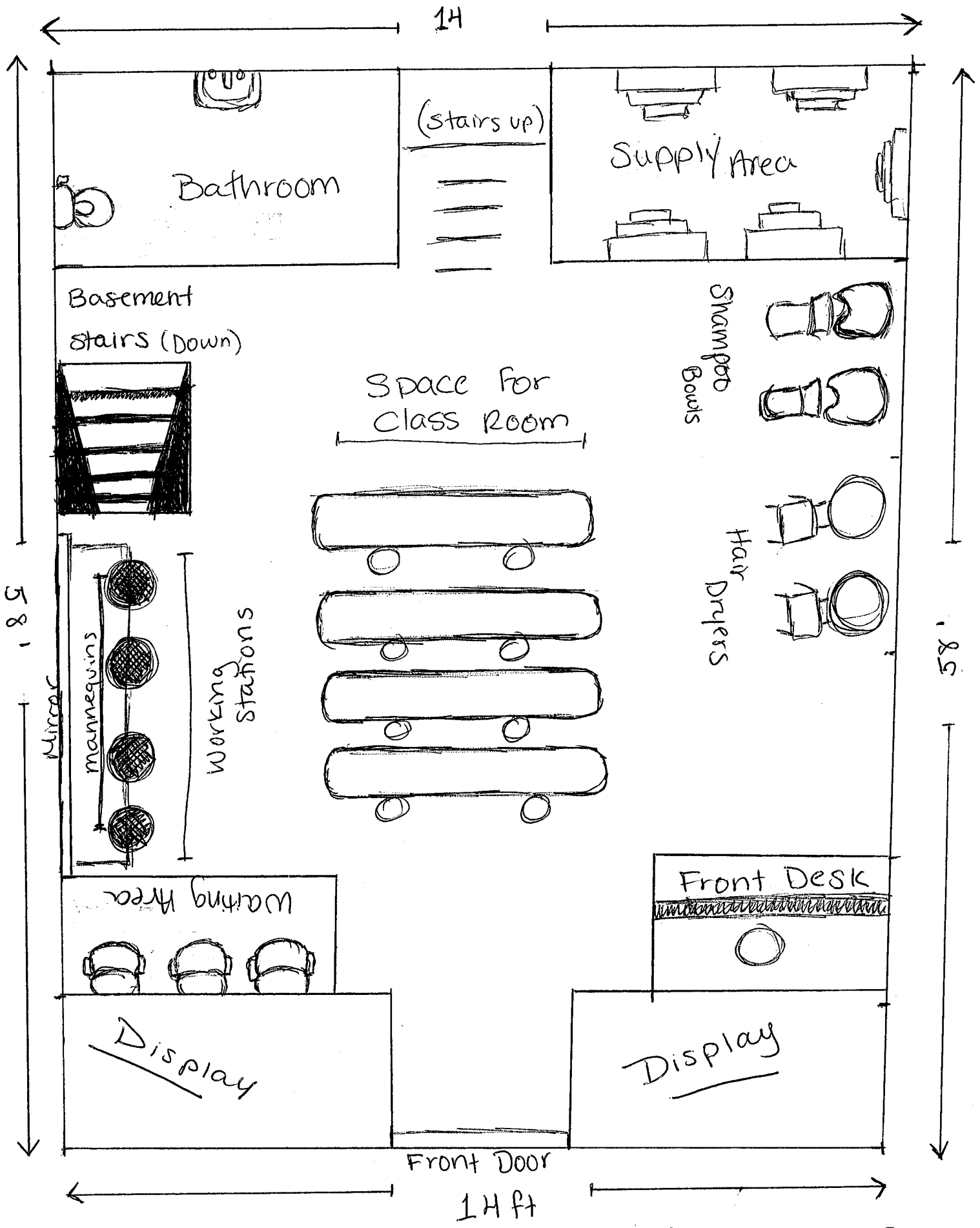
Get Flawless Pro will operate from our location in Middletown, providing hands-on workshops and seminars led by a diverse group of licensed professionals—not only in beauty and wellness, but across multiple industries. These include doctors, lawyers, teachers, financial advisors, and other experienced professionals, all coming together to pour into our community.

These workshops will cover natural hair and scalp care, financial literacy, small business development, legal basics, educational planning, and more. Our mission is to help individuals build confidence, develop practical skills, and explore viable career and life paths—especially those who may not have easy access to these types of opportunities.

We believe Get Flawless Pro will serve as a powerful community resource, especially for young adults, recent graduates, aspiring entrepreneurs, and anyone looking to grow in knowledge and self-worth.

With your support, we will bring this vision to life and contribute something truly impactful to our city. Thank you so much for your time and consideration. I'm happy to answer any questions you may have.

These workshops will cover natural hair and scalp care, financial literacy, small business development, legal basics, educational planning, and more. Our mission is to help individuals build confidence, develop practical skills, and explore viable career and life paths—especially those who



North street

Get Flawless Pro
Interior site Plan



**CITY OF MIDDLETOWN, NEW YORK
PLANNING BOARD
RECORD OF VOTE**

THE FOLLOWING WAS PRESENTED

By: None
 Seconded by: None
 Date of Adoption: November 5, 2025
 Resolution Number

Names	Ayes	Noes	Abstain	Absent
Mr. Madden				
Mr. McCormack				
Mr. Britto				
Mrs. Witt				
Mrs. Dupre				
Mr. Higbie				
Chairman Cappozella				
Total				

Filed with the Clerk of the City of Middletown on: November 5, 2025

Richard P. McCormack

Request of Laura Scott, for a special use permit to have a full liquor license at an existing eating and drinking establishment located at 45-53 North Street, Middletown

WHEREAS, Laura Scott, filed an application with the Planning Board of the City of Middletown, seeking a special use permit to have a full liquor license at an existing eating and drinking establishment located at 45-53 North Street, Middletown. Section 31, Block 7, Lot 27.

WHEREAS, after due notice public hearing was held by the Planning Board on November 5, 2025 at 7:00 p.m. in the Common Council Chambers, City Hall, Middletown, New York, and

WHEREAS, at said hearing all those who desired to be heard were heard and their testimony recorded, and all testimony has been carefully considered.

NOW THEREFORE BE IT RESOLVED that the Planning Board of the City of Middletown hereby approves the application of Laura Scott for a special use permit to have a full liquor license at an existing eating and drinking establishment located at 45-53 North Street, Middletown. Under special legislation that was passed allowing for a waiver of the 200 foot rule for full liquor license issuance at the designated Middletown location, Oak and Reed. This is special legislation through NYS and not a change in the City of Middletown zoning code.

The SLA law remains in place prohibiting a full liquor license from being issued within 200 ft of a church or school. Requests for a waiver are handled by the City administration in conjunction with the NYS Senator and Assembly members. These include impacted churches signing off on the application.

All approvals have been met that will allow the application to proceed to SLA for final approval, which this application remains subject to. Hours of operation are subject to DMU zone restrictions.

SUBJECT TO: City of Middletown DPW and City of Middletown Fire Department inspections and approvals and, when necessary, approval of the Commissioner of Public Works.

The applicant will obtain all necessary permits and follow the permitting process, codes, and ordinances of the City of Middletown, County of Orange, and the State of New York, if applicable.

In addition, if throughout any of the review process the project is deemed to require Bulk Requirement Tables, the applicant will supply said tables through an architect or engineer licensed in the State of New York.

SUBJECT TO: Any items as stated in: submitted PB application, Public Hearing, Board discussion, City Inspectors' input, PB Engineer, and PB Attorney's recommendations. Information submitted within the application will become part of the record, and the applicant will follow through on and to be held to.

THEREFORE: The applicant is only allowed to use the space as designated in the application and resolution. Any changes in building structure and/or use, applicant will need to seek PB approval, if applicable.

WHEREAS this application is located in the DMU Zone, applicants must submit and receive approval from the Department of Public Works according to Chapter 407 Solid Waste, Article II Collection, §407-3, Collection, and comply with this section and any other sections enacted by the Common Council from this date forward.

WHEREAS this application is located in the DMU Zone, applicants must submit and receive approval on all façade work, exterior work in general and exterior signage from the Architectural Review Board.

WHEREAS this application is located in the DMU Zone and parking requirements are waived as per the code.

WHEREAS, Pursuant to the City of Middletown Code, Chapter 475, Article 4, Administration and Enforcement, Chapter 475-53, Paragraph E-6, unless work is commenced and diligently prosecuted within six months and completed within two years of the date of granting a Special Use Permit, such Special Use Permit shall be null and void.

If no work is done in the next six months, the applicant will need to submit a request for a six-month extension of the Planning Board approval.

Prepared by:

Attachments:

1.	45-53 North-002
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APPLICATION

PLANNING BOARD

City of Middletown, New York

Date deemed complete _____
Accepted by _____

Date 9/3/25

Items 1, 2 and 3 are required to be completed

1. Address of Subject Property 45-53 North Street

Section 31 Block 7 Lot 27 Current Zoning District DmU

Building Existing New _____

2. Owner of Property City of Middletown

Owner's Address 16 James Street

City Middletown State NY Zip 10940

Phone numbers: Home: 845-346-4101

Business: _____

Cell: _____

3. Applicant name Laura Scott

If different from Owner

Applicants Address 640 Goshen Tpk

City Condeville State NY Zip 10919

Phone numbers: Home: _____

Business: 845-775-4200

Cell: 845-551-7727

Fax: _____

Answer 4, 5 or 6

4. **Special Use Permits/Site Plan Approval.** An approval for a special use permit and/or site plan approval is hereby requested. In the space provided indicate the section(s) and classification(s) of the occupancy for which you are seeking a special use permit. Included all uses which are currently or will be in the subject property. All dimensions shall be listed in the space provided. Refer to the tables at the rear of the Zoning Ordinance for requirements in UR-3, SR-3, SR-3A and SR-3B districts. Additional sheets may be attached if required.

Section # F7

Classification of Occupancy requested Assembly Group A-2 (Restaurant - Full Service)

Description of what you are requesting: Oak and Reed requests permission to serve/acquire a full liquor license in lieu of a beer wine and cider only license.

Uses currently in property: Full service restaurant with beer, wine and cider options. Current hours of operation are Tuesday 5pm-9pm W-Sunday 11:30 Am-9pm.

Title	Section Number	Required Dimensions	Actual Dimensions
Lot area			
Front yard			
Rear yard			
Side yard			
Side yard			
Parking			

Answer this section only for multiple dwellings

Lot coverage	
Building height	
Open Space	
Playlot	
Livable floor area	
Number of Bedrooms	

5. **Nonconforming Use.** In the area provided, list each use for which an expansion is sought and the reason therefore. State the current use and all conditions that presently exist and those

Printed Name and Title: Laura Scott, owner

Date: 9/9/2025



**CITY OF MIDDLETOWN, NEW YORK
PLANNING BOARD
RECORD OF VOTE**

THE FOLLOWING WAS PRESENTED

By: None
 Seconded by: None
 Date of Adoption: November 5, 2025
 Resolution Number

Names	Ayes	Noes	Abstain	Absent
Mr. Madden				
Mr. McCormack				
Mr. Britto				
Mrs. Witt				
Mrs. Dupre				
Mr. Higbie				
Chairman Cappozella				
Total				

Filed with the Clerk of the City of Middletown on: November 5, 2025

Richard P. McCormack

Request of Maricela Godinez for a special use permit and site plan approval in order to have an eating and drinking establishment with a beer and wine liquor license located at 99 North Street, Middletown

WHEREAS, Maricela Godinez filed an application with the Planning Board of the City of Middletown seeking a special use permit and site plan approval in order to have an eating and drinking establishment with beer and wine liquor license in accordance with the SLA regulations under OP 252, located at 99 North Street, Middletown. Section 31, Block 2, Lot 11, located in the DMU Zone which is a permitted use.

WHEREAS, after due notice public hearing was held by the Planning Board on November 5, 2025 at 7:00 p.m. in the Common Council Chambers, City Hall, Middletown, New York, and

WHEREAS, at said hearing all those who desired to be heard were heard and their testimony recorded, and all testimony has been carefully considered.

NOW THEREFORE BE IT RESOLVED that the Planning Board of the City of Middletown hereby approves the application of Maricela Godinez for a special use permit and site plan approval for an eating and drinking establishment with beer and wine, located at 99 North Street,

Middletown.

Hours of operation are 8:00 a.m. to 11:00 p.m. daily.

SUBJECT TO: City of Middletown DPW and City of Middletown Fire Department inspections and approvals and, when necessary, approval of the Commissioner of Public Works.

The applicant will obtain all necessary permits and follow the permitting process, codes, and ordinances of the City of Middletown, County of Orange, and the State of New York, if applicable.

In addition, if throughout any of the review process the project is deemed to require Bulk Requirement Tables, the applicant will supply said tables through an architect or engineer licensed in the State of New York.

SUBJECT TO: Any items as stated in: submitted PB application, Public Hearing, Board discussion, City Inspectors' input, PB Engineer, and PB Attorney's recommendations.

Information submitted within the application will become part of the record, and the applicant will follow through on and to be held to.

THEREFORE: The applicant is only allowed to use the space as designated in the application and resolution. Any changes in building structure and/or use, applicant will need to seek PB approval, if applicable.

WHEREAS this application is located in the DMU Zone, applicants must submit and receive approval from the Department of Public Works according to Chapter 407 Solid Waste, Article II Collection, §407-3, Collection, and comply with this section and any other sections enacted by the Common Council from this date forward.

WHEREAS this application is located in the DMU Zone, applicants must submit and receive approval on all façade work, exterior work in general and exterior signage from the Architectural Review Board.

WHEREAS this application is located in the DMU Zone the Planning Board waives parking requirements as per the code.

WHEREAS, Pursuant to the City of Middletown Code, Chapter 475, Article 4, Administration and Enforcement, Chapter 475-53, Paragraph E-6, unless work is commenced and diligently prosecuted within six months and completed within two years of the date of granting a Special Use Permit, such Special Use Permit shall be null and void.

If no work is done in the next six months, the applicant will need to submit a request for a six-month extension of the Planning Board approval.

Prepared by:

Attachments:

1.	99 north-002
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APPLICATION

PLANNING BOARD

City of Middletown, New York

Date deemed complete _____
Accepted by _____

Date 10/16/25

Items 1, 2 and 3 are required to be completed

1. Address of Subject Property 99 North St Middletown NY 10940

Section 31 Block 2 Lot 11 Current Zoning District DMU

Building Existing New _____

2. Owner of Property Maricela Godinez

Owner's Address 99 North St Apt 2

City Middletown State NY Zip 10940

Phone numbers: Home: 845-978-2180

Business: 845-344-1422

Cell: 845-978-2180 (preferred #)

845-978-96
Gerardo. 75

3. Applicant name _____

If different from Owner

Applicants Address _____

City _____ State _____ Zip _____

Phone numbers: Home: _____

Business: _____

Cell: _____

Fax: _____

Answer 4, 5 or 6

4. **Special Use Permits/Site Plan Approval.** An approval for a special use permit and/or site plan approval is hereby requested. In the space provided indicate the section(s) and classification(s) of the occupancy for which you are seeking a special use permit. Included all uses which are currently or will be in the subject property. All dimensions shall be listed in the space provided. Refer to the tables at the rear of the Zoning Ordinance for requirements in UR-3, SR-3, SR-3A and SR-3B districts. Additional sheets may be attached if required.

Section # _____

Classification of Occupancy requested _____

Description of what you are requesting: restaurant and bar cafe. requesting Beer and Wine. Requesting seperation of business from victors market, and making suite A and suite B. Hours of operation: mon - sun 8am - 11pm

Uses currently in property: VACANT

Title	Section Number	Required Dimensions	Actual Dimensions	z
Lot area				
Front yard				
Rear yard				
Side yard				
Side yard				
Parking				

Answer this section only for multiple dwellings

Lot coverage _____
Building height _____
Open Space _____
Playlot _____
Livable floor area _____
Number of Bedrooms _____

Signature: X. Maricela Godinez

Printed Name and Title: Maricela Godinez owner

Date: 10/16/2025

PROPOSED SPORTS BAR & RESTAURANT MRS. MARICELA GODINEZ

99 NORTH STREET

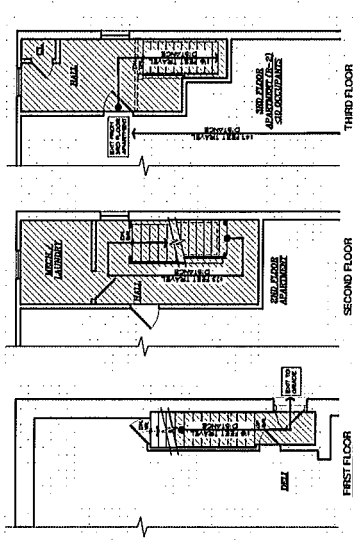
MIDDLETOWN, NEW YORK

LIST OF DRAWINGS

Drawn Sheet	Description
1. A-1	TITLE SHEET - LOCATION PLAN, SITE SURVEY, SPRINKLER/EGRESS PLANS & NOTES
2. A-2	PROPOSED FLOOR PLAN, SELECTED COLLECTIVE/TRAFFIC PLAN, NOTES & DETAILS

SITE DATA

- 20' x 20' (PROPOSED) GRID
 - 1" = 10' (SITE SURVEY)
 - 1" = 10' (GENERAL)
 - 1" = 10' (PLAN)
- NOTE: DIMENSIONS AND NOTES APPLICABLE TO ALL DRAWINGS UNLESS OTHERWISE SPECIFIED BY ARCHITECT OR ENGINEER. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



SPRINKLER PROTECTED EGRESS PATH SERVING 3RD FLOOR APARTMENT
SCALE: 3/8" = 1'-0"

1. HOUR-RATED AREA TO BE PROTECTED BY "PARTIAL" 1.5" HOURLY AUTOMATIC FIRE SPRINKLER SYSTEM

2. PATH OF EGRESS WITH TRAVEL DISTANCE

EXISTING BUILDING EVALUATION:

STRUCTURE: THE EXISTING BUILDING IS A 3-STOREY BRICK BUILDING WITH A CONCRETE SLAB ON GRADE. THE BUILDING IS IN GOOD CONDITION AND MEETS ALL LOCAL BUILDING CODES. THE EXISTING BUILDING IS A 3-STOREY BRICK BUILDING WITH A CONCRETE SLAB ON GRADE. THE BUILDING IS IN GOOD CONDITION AND MEETS ALL LOCAL BUILDING CODES. THE EXISTING BUILDING IS A 3-STOREY BRICK BUILDING WITH A CONCRETE SLAB ON GRADE. THE BUILDING IS IN GOOD CONDITION AND MEETS ALL LOCAL BUILDING CODES.

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL FIRE CODE (IFC).

ALTERNATE METHOD OF COMPLIANCE
AND METHOD OF COMPLIANCE WITH THE CODES

PROJECT SUMMARY:
PROPOSED RESTAURANT AND BAR WITH 30 SEATING CAPACITY AND 1000 S.F. OF FLOOR AREA.

PROJECT FLOOR:
• FIRST FLOOR: RESTAURANT, BAR, ONE APARTMENT UNIT
• SECOND FLOOR: RESIDENTIAL (APARTMENT UNIT)
• THIRD FLOOR: RESIDENTIAL (APARTMENT UNIT)

PROJECT CODES:
• IBC 2018 (INTERNATIONAL BUILDING CODE)
• IF 2018 (INTERNATIONAL FIRE CODE)

CHANGE OF USE: THE CHANGE OF USE FROM RESIDENTIAL TO RESTAURANT AND BAR IS BEING REQUESTED TO OCCUPANCY CATEGORY "A-1" (RESTAURANT).

APPLICABLE CODE PROVISIONS:
• IBC 105.1 (USE GROUP)
• IBC 105.2 (FLOOR AREA)
• IBC 105.3 (EGRESS WIDTH)
• IBC 105.4 (EGRESS DISTANCE)
• IBC 105.5 (EGRESS PATH)
• IBC 105.6 (EGRESS SIGNAGE)
• IBC 105.7 (EGRESS LIGHTING)
• IBC 105.8 (EGRESS DOORS)
• IBC 105.9 (EGRESS STAIRS)
• IBC 105.10 (EGRESS RAMP)

APPLICABLE CODE PROVISIONS:
• IBC 105.1 (USE GROUP)
• IBC 105.2 (FLOOR AREA)
• IBC 105.3 (EGRESS WIDTH)
• IBC 105.4 (EGRESS DISTANCE)
• IBC 105.5 (EGRESS PATH)
• IBC 105.6 (EGRESS SIGNAGE)
• IBC 105.7 (EGRESS LIGHTING)
• IBC 105.8 (EGRESS DOORS)
• IBC 105.9 (EGRESS STAIRS)
• IBC 105.10 (EGRESS RAMP)



PROPOSED:
SPORTS BAR & RESTAURANT:
MRS. MARICELA GODINEZ
99 NORTH STREET
MIDDLETOWN, NY 10940

TITLE SHEET, PROJECT SCOPE

EDWARD J. BOLZAN
ARCHITECT
100 SOUTH STREET
MIDDLETOWN, NY 10940
T: 815 846-8247

PROJECT # 2024-01
DRAWING # 101
SCALE AS SHOWN
SHEET # 1/2 (OF 2)

SCALE 1" = 100'

LEGEND:
MUNICIPAL PARKING AREAS

LOCATION PLAN
SCALE 1" = 100'

SCALE 3/8" = 1'-0"

SCALE 1" = 100'



**CITY OF MIDDLETOWN, NEW YORK
PLANNING BOARD
RECORD OF VOTE**

THE FOLLOWING WAS PRESENTED

By: None
 Seconded by: None
 Date of Adoption: November 5, 2025
 Resolution Number

Names	Ayes	Noes	Abstain	Absent
Mr. Madden				
Mr. McCormack				
Mr. Britto				
Mrs. Witt				
Mrs. Dupre				
Mr. Higbie				
Chairman Cappozella				
Total				

Filed with the Clerk of the City of Middletown on: November 5, 2025

Richard P. McCormack

Request of Dewitt Acquisitions, for a special use permit and site plan approval for a gasoline station and convenience store, located at 16 and 18 County Highway 78, Middletown

WHEREAS, Dewitt Acquisitions, filed an application with the Planning Board of the City of Middletown seeking a special use permit and site plan approval for a gasoline station and convenience store, located at 16 and 18 County Highway 78, Middletown. Section 54, Block 1, Lot 15 and 20, located in the C-3 Zone which is a permitted use.

WHEREAS, after due notice, a public hearing was held by the Planning Board on November 5, 2025, at 7:00 p.m. in the Common Council Chambers, City Hall, Middletown, New York, and

WHEREAS, at said hearing, all those who desired to be heard were heard and their testimony recorded, and all testimony has been carefully considered.

WHEREAS, according to the SEQRA review, this is determined to be a Type II action as it falls under the maintenance/repair and upgrade section. There are no changes proposed to the existing structure. There are no trees being removed, so the habitat will remain the same. There are monitoring wells on site that are not proposed to be changed or altered in any way. The two

(2) reports of nearby remediation sites are the dump/landfill near the WWTP at 159 Dolson Avenue. Therefore, no further review is necessary and Lead Agency and Negative Declaration is not required. This approval will be subject to the applicant addressing all the minor concerns remaining from CPL letter dated 10/22/25 and made part of this approval.

NOW THEREFORE BE IT RESOLVED that the Planning Board of the City of Middletown hereby approves the application of Dewitt Acquisitions for a special use permit and site plan approval for a gasoline station and convenience store, located at 16 and 18 County Highway 78, Middletown. The applicant will obtain proper New York State Tobacco and Liquor licenses to sell tobacco products (excluding marijuana, THC and related products), beer, wine, and cider.

Hours of operation are 24 hours 7 days a week.

SUBJECT TO: City of Middletown DPW and City of Middletown Fire Department inspections and approvals and, when necessary, approval of the Commissioner of Public Works.

The applicant will obtain all necessary permits and follow the permitting process, codes, and ordinances of the City of Middletown, County of Orange, and the State of New York, if applicable.

In addition, if throughout any of the review process, the project is deemed to require Bulk Requirement Tables, the applicant will supply said tables through an architect or engineer licensed in the State of New York.

SUBJECT TO: Any items as stated in: submitted PB application, Public Hearing, Board discussion, City Inspectors' input, PB Engineer, and PB Attorney's recommendations. Information submitted within the application will become part of the record, and the applicant will follow through and be held to.

THEREFORE: The applicant is only allowed to use the space as designated in the application and resolution. Any changes in building structure and/or use, the applicant will need to seek PB approval, if applicable.

WHEREAS, Pursuant to the City of Middletown Code, Chapter 475, Article 4, Administration and Enforcement, Chapter 475-53, Paragraph E-6, unless work is commenced and diligently prosecuted within six months and completed within two years of the date of granting a Special Use Permit, such Special Use Permit shall be null and void.

If no work is done in the next six months, the applicant will need to submit a request for a six-month extension of the Planning Board approval.

Prepared by:

Attachments:

1.	16-18 chwy 78
2.	DOC103eaf025
3.	Middletown (35) 10-23-25
4.	eaf gs

APPLICATION
PLANNING BOARD
City of Middletown, New York

Date deemed complete _____ Date _____
Accepted by _____

Items 1, 2 and 3 are required to be completed

1. Address of Subject Property 16 1/2 COUNTY HIGHWAY 78, MIDDLETOWN
Section 54 Block 1 Lot 15 1/20 Current Zoning District C-3 GENERAL BUSINESS
Building Existing X New _____

2. Owner of Property ANEL PYRAM & FEDELINE CHERY PYRAM
Owner's Address 137 APPLE LANE
City MIDDLETOWN State NY Zip 10940
Phone numbers: Home: _____
Business: _____
Cell: _____

3. Applicant name DEWITT ACQUISITIONS
If different from Owner
Applicants Address 26 MILL PLAN ROAD, 2ND FLOOR
City DANBURY State CT Zip 06811
Phone numbers: Home: _____
Business: _____
Cell: (845) 206-1453
Fax: _____

Answer 4, 5 or 6

4. **Special Use Permits/Site Plan Approval.** An approval for a special use permit and/or site plan approval is hereby requested. In the space provided indicate the section(s) and classification(s) of the occupancy for which you are seeking a special use permit. Included all uses which are currently or will be in the subject property. All dimensions shall be listed in the space provided. Refer to the tables at the rear of the Zoning Ordinance for requirements in UR-3, SR-3, SR-3A and SR-3B districts. Additional sheets may be attached if required.

Section # 475-21

Classification of Occupancy requested _____

Description of what you are requesting: GASOLINE STATION & CONVENIENCE STORE

Uses currently in property: FORMERLY A GAS STATION & CONVENIENCE STORE
PRESENTLY VACANT

Title	Section Number	Required Dimensions	Actual Dimensions
Lot area	475-21 D	7,500 SRF	50,578 SRF
Front yard	475-21 F	NONE	
Rear yard	475-21 P	NONE	
Side yard	475-21 F	NONE	
Side yard	475-21 F	NONE	
Parking	475-33 (B)	1 SPACE PER 170 SQ FT OF STORE FLOOR AREA	

Answer this section only for multiple dwellings

Lot coverage _____
Building height _____
Open Space _____
Playlot _____
Livable floor area _____
Number of Bedrooms _____

5. Nonconforming Use. In the area provided, list each use for which an expansion is sought and the reason therefore. State the current use and all conditions that presently exist and those that will be created. Refer to the excerpt from the Zoning Ordinance Section 475-44. Additional sheets may be attached if required.

6. Fence and/or Parking Nonconformance. In the area provided, list the reason(s) requested for all conditions which are not in conformance with the regulations. Indicated the requirement(s) and the amount of relief requested. Additional sheets may be attached if required.

7. Sign at the Place Indicated

Signature: Mark Dombal

Printed Name and Title: MARK DOMBAL, MGR

Date: August 14, 2005

OWNERS ENDORSEMENT

COUNTY OF ORANGE
STATE OF NEW YORK

ANEL PYRAM being duly sworn, deposes and
says that he/she resides at 137 Apple Lane
in the County of Orange and State of New York and that he is the
owner in fee or _____ of the _____
OFFICIAL TITLE

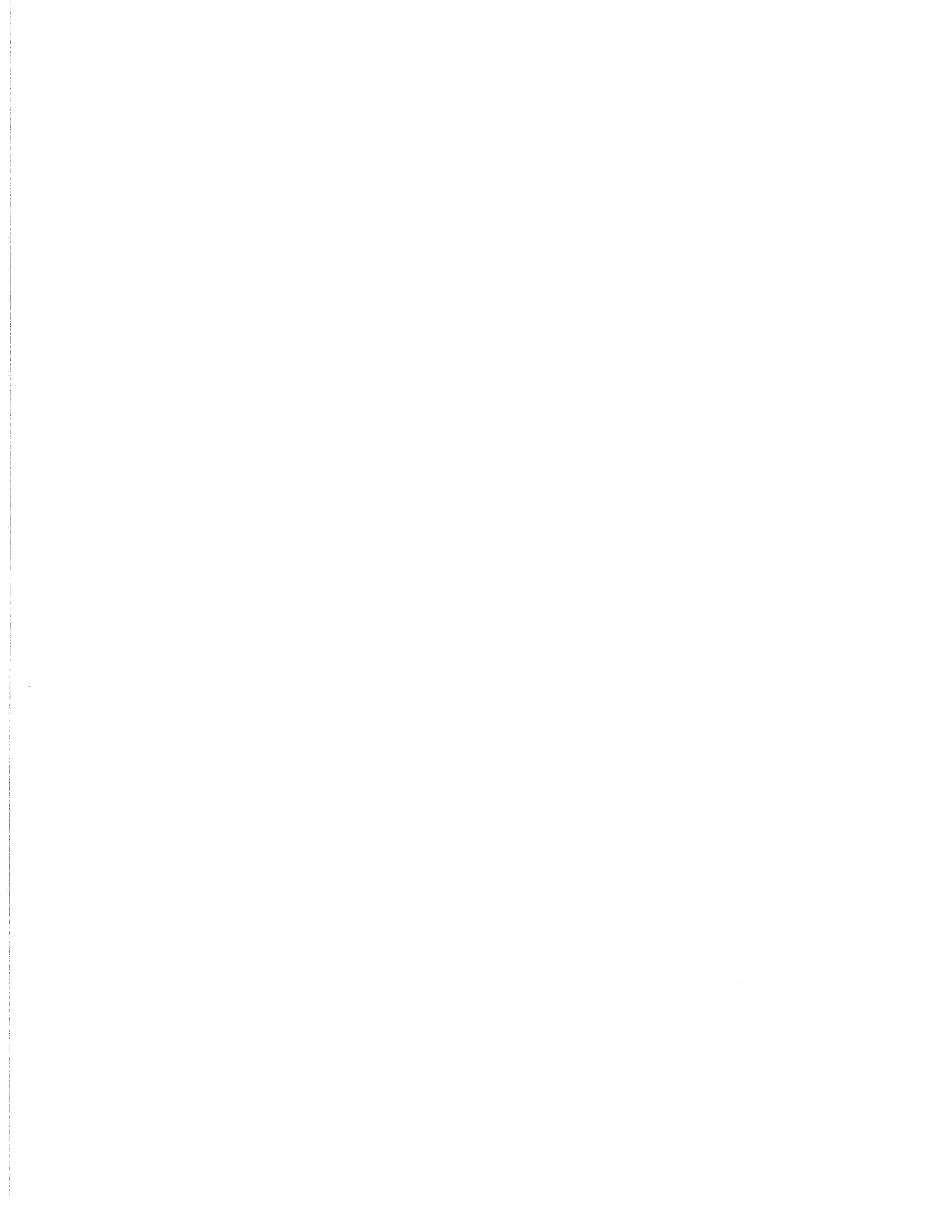
Corporation which is the owner
in fee of the premises described in the foregoing application and that he has authorized
Dewitt Acquisition to make the foregoing application for
approval as described herein.

16 and 18 County Route 78 also known by
SBL 54-1-15 and 20.
Sworn before me this 15th day of August 2025

[Signature]
NOTARY PUBLIC

CHRIS SCIBELLI
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01SC4814394
Qualified in Orange County
Commission Expires Sept. 30, 2026

[Signature]
OWNERS SIGNATURE



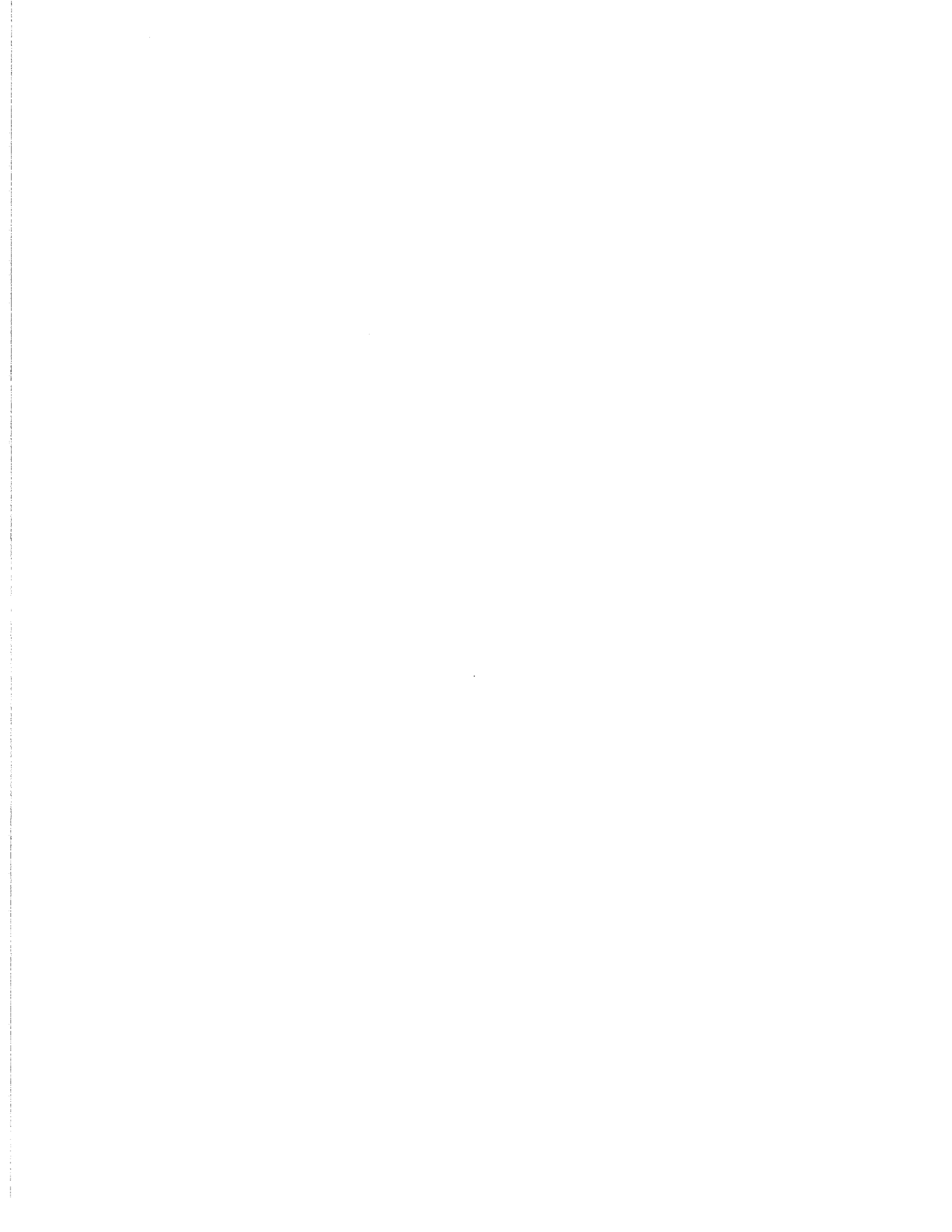
617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

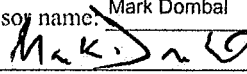
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Dewitt Acquisitions			
Project Location (describe, and attach a location map): 18 County Route 78, Middletown, NY 10940			
Brief Description of Proposed Action: Reopen former gas station by installing new underground storage tanks, dispensers, canopy, repurpose existing ID/price sign, and renovate exterior and interior of the existing building			
Name of Applicant or Sponsor: Mark Dombal		Telephone: (845)206-1453	
		E-Mail: marksnk@outlook.com	
Address: 26 Mill Plain Road, 2nd Floor			
City/PO: Danbury		State: CT	Zip Code: 06811
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?			1.1611 acres
b. Total acreage to be physically disturbed?			0.0892 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			1.1611 acres
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			



5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
	b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? <i>INDIANA BAT</i>	NO	YES		
	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
16. Is the project site located in the 100 year flood plain?	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES		
	<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input type="checkbox"/> NO <input type="checkbox"/> YES			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ V00289 and 336029 see attached	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Mark Dombal</u>	Date: <u>September 04, 2025</u>	
Signature: <u></u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

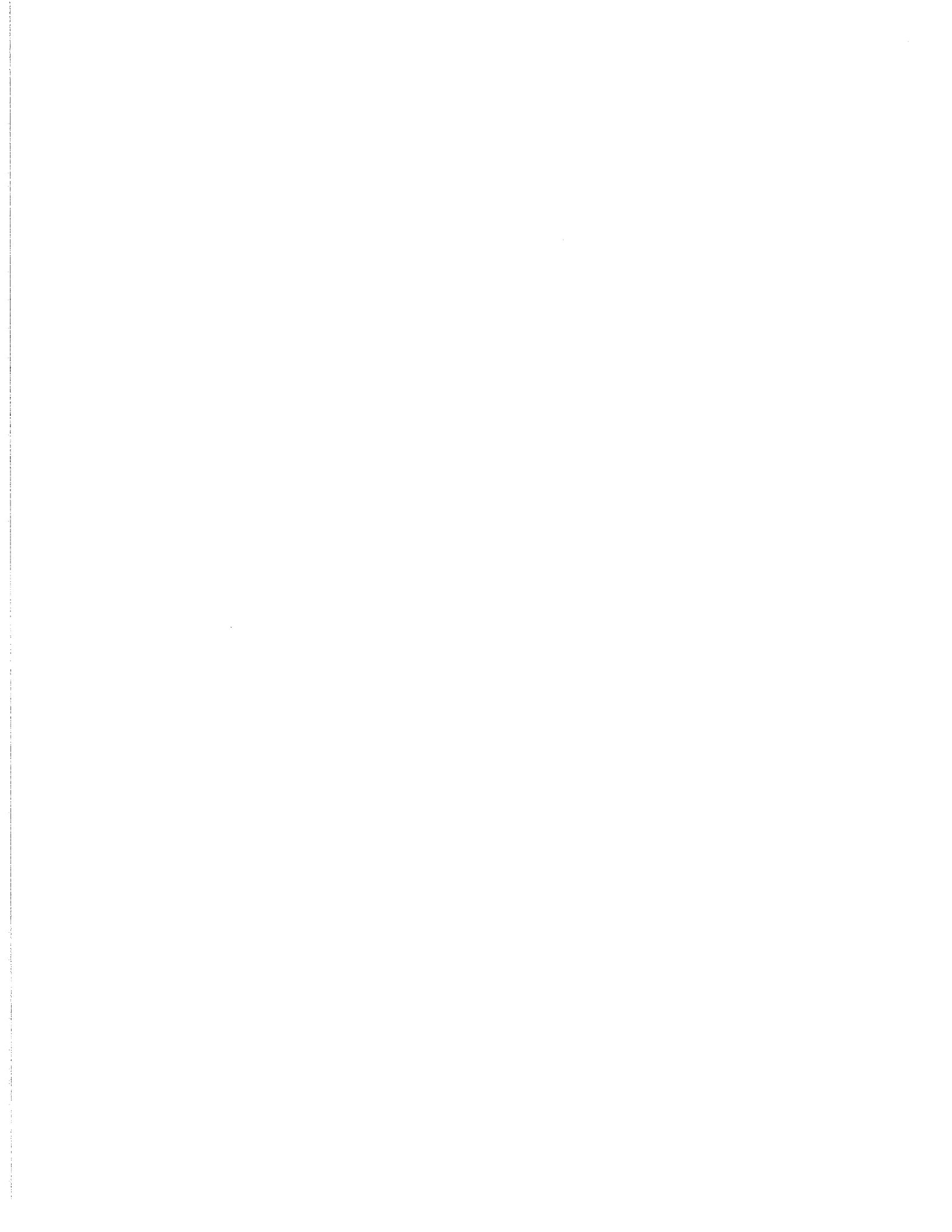
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT





MEMORANDUM

TO: Anthony Capozella, Chairman, Planning Board, City of Middletown

FROM: Christian T. Moore, P.E.

Cc: Martina Tu (*via email*)
Jacob Tawil, P.E. (*via email*)
Richard Croughan, Esq. (*via email*)

DATE: 10/22/2025

RE: Market / Gas Station Site Plan for Dewitt Acquisitions
18 Route 78, Tax Grid No. 54-1-15
CPL# R24.15689.09

We are in receipt of the following materials provided for review:

- Plans prepared by Anthony Sottille, P.E., revised 10/15/2025 (13 sheets)
- Short form EAF

This project was previously reviewed by this office to depict proposed site changes to reopen the retail aspect of the building. At that time, nothing regarding fuel tanks, pumps, or dispensers was provided for consideration by the City of Middletown.

Our comments are as follows:

1. An existing conditions plan is needed to reflect any physical changes, if any, to the site based on the previous site plan approval.

Comment satisfied.

2. Applicant to provide sufficient correspondence from NYSDEC regarding the subsurface tank installation.

Comment satisfied.

3. The EAF description of proposed action should be enhanced to describe proposed site improvements more than "reopen former gas station".

Comment satisfied.



4. Two monitoring wells were shown on the previous survey, and should be shown on these plans.

Comment satisfied.

5. Provide appropriate north arrows to all site plan sheets.

Comment satisfied.

6. The 50 foot O&R Easement is to be clearly shown and labeled. It appears that the new paved asphalt and curbing behind the building will encroach into this easement.

Comment satisfied.

7. The previous site plan showed a total of 18 parking spaces, including one ADA space and two employee spaces. The revised plans show 11 spaces (1 ADA, 2 employee, and 8 regular spaces) plus ten for the fuel dispensers.

Comment satisfied.

8. The large proposed paved area behind the building does not appear to serve a purpose other than turning area for a tanker truck, and it appears that it could be reduced and still permit a tanker vehicle the ability to negotiate the site.

Comment satisfied.

9. Notes on sheet Z-1 indicate a "convenience store provided in conjunction with automobile service". What automobile services are to be provided here?

Comment satisfied.

10. The sidewalk/walkway across the front of the building does not scale 5 feet as indicated; please review and revise.

Comment satisfied.

11. Identify any building mechanicals which are to be ground-mounted.

Comment satisfied.

12. The proposed edge of pavement is to be clearly indicated.

Comment satisfied.

13. Identify the limit of tree clearing.

Comment satisfied.

14. The concrete slab around the fuel pumps depicted on 4/T-2 needs to be shown on the site plan.

Comment satisfied.



WATER
RUNOFF
INDICATED
WITH
ARROWS ON
SHEETS Z-1
& SP-1

15. Proposed grading needs to be shown behind the building; the new curbline shown to accommodate a tanker truck is cutting into the hillside.

Spot grades on the proposed pavement around the site need to be shown to indicate where stormwater runoff will go. The concern is a lack of internal drainage and flat slopes may create ponding/icing conditions.

16. Building water and sewer utilities must be located to ensure there is no conflict between them and the subsurface lines to the fuel dispensers.

The water service is shown, but the location of the sewer lateral is not indicated. SEE SHEET Z-1 & SP-1 NOTE @ CANOPY AREA

17. Cleanouts for the sanitary sewer line should be shown, or if not present, should be provided.

Comment satisfied.

18. The shutoff valve for the water service should be shown and brought to grade if not visible or accessible.

Comment satisfied.

19. Erosion control measures must be shown on the plans (not just details), along with proposed material stockpile locations and concrete washout areas.

Sheet SP-2 does not show where erosion control measures are proposed; this sheet contains the lighting plan. SEE SHEETS Z-1 & SP-1

20. A full lighting plan must be developed illustrating the proposed light levels around the building and under the fuel pump canopy.

Actual foot candle values need to be shown on the lighting plan; the photometric isolumens contours provide some information, but the plan must demonstrate a standard minimum of 0.5 footcandles at ground level where pedestrians are expected to walk. SEE SHEET SP-2

Lighting underneath the dispenser canopy appears to be around 5-6 footcandles, however this should be verified on the plans with spot intensities. SEE SHEET SP-2 INDICATED @ CANOPY

Fixture color temperature should be brought down to 3000K or lower (warmer color) to reduce glare. SEE SHEET SP-2 @ LUMINARY SCHEDULE

21. Vehicle access comments:

- a. City Fire Department to review and advise with respect to emergency vehicle access and circulation.
- b. Consideration needs to be given to internal non-tanker vehicle circulation; the ten fuel dispenser spaces take up nearly the entire lot width. Signage



and / or pavement markings should be used to direct customer traffic into, through and out of the site. A circular pattern should be evaluated.

Comment satisfied.

- c. A generic "tank truck" template has been provided to depict tanker movement around the back of the building. An appropriately selected standard AASHTO vehicle template is to be used instead. (i.e., WB-45, WB-60, etc.)

Comment satisfied.

- d. The tanker entry movement is possible only if fuel dispenser parking space #10 is unoccupied.

Comment satisfied.

- e. An exiting movement for the tanker needs to be shown.

Comment satisfied.

- 22. As per Section 394-9 (A) Ground or freestanding signs: The proposed signs do not appear to comply with this section as follows:

- a. Front sign "price sign" must be moved back to comply with the 15 foot offset requirements; currently shown at less than ten feet.

The Planning Board must determine if this existing sign is grandfathered or if a variance is needed.

- b. Front sign "price sign" exceeds the 15 foot height limit; a 20 foot height is shown.

15 foot max height shown, comment satisfied.

- c. Rear sign "high rise sign" exceeds the 15 foot height limit; a 47 foot height is shown.

Rear sign is no longer proposed, comment satisfied.

- d. Only one sign permitted per street frontage; two signs are proposed.

Rear sign is no longer proposed, comment satisfied.

- 23. Please review the ADA sign detail; there appears to be a parking violation fine amount which may or may not be pertinent.

Comment satisfied.

- 24. A "No Parking" sign is needed for the loading / unloading space.

Comment satisfied.



25. The bollard detail should be reviewed for embedment depth; only 12" embedment appears to be shown.

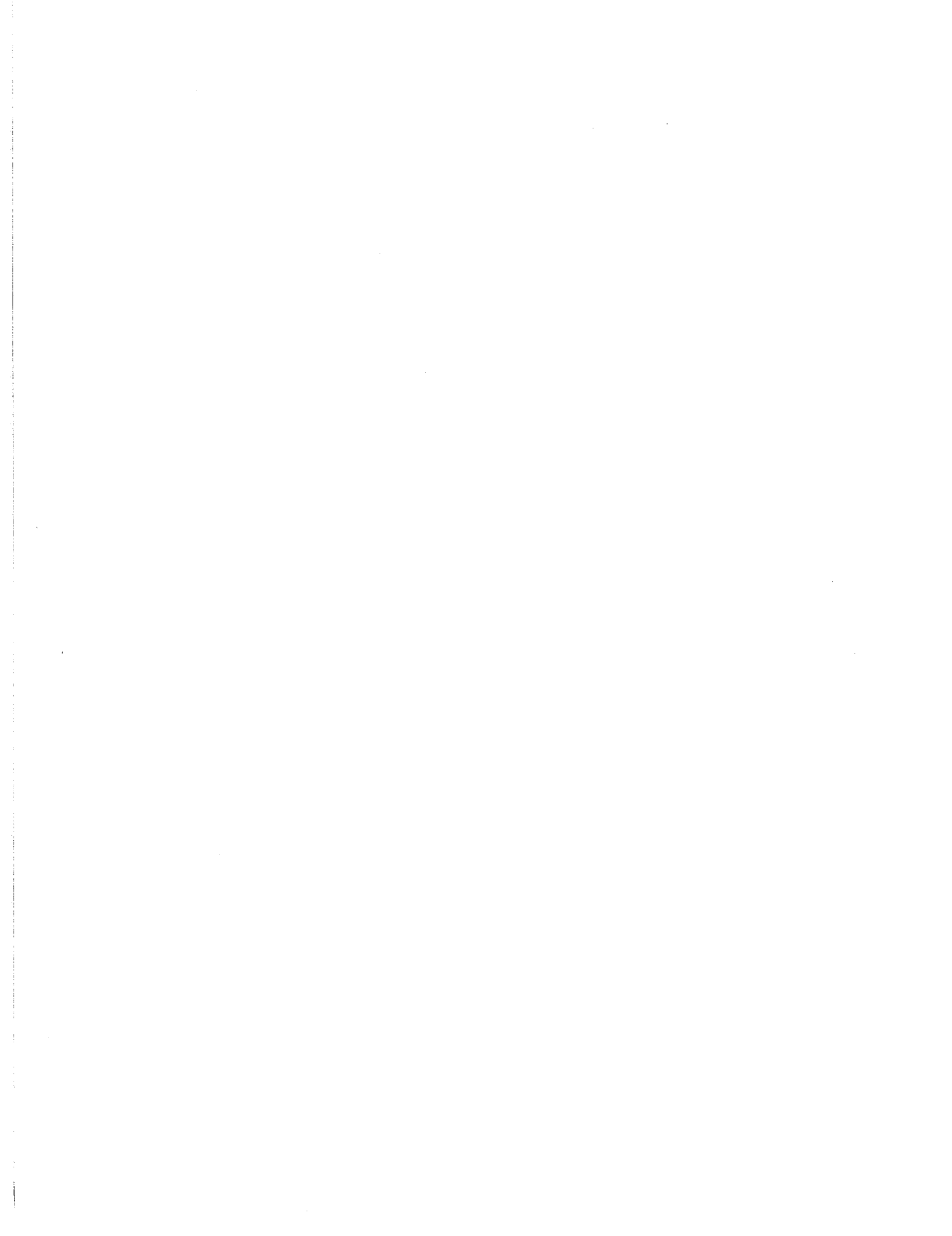
Comment satisfied.

26. Additional details must be provided for:

- a. Lighting fixtures, poles, and luminaires. **Comment satisfied, provided the fixture color temp is lowered to 3000K or less.. SEE SHEET SP-2 @ LUMINARY SCHEDULE**
- b. Concrete curbing. **Comment satisfied.**
- c. Dumpster pad and enclosure. **Comment satisfied.**

27. The revised plan shows an increase of pavement within the County right of way. The throat width does not appear to be changing, but the additional asphalt needed to allow for the entry/exit of a fuel tanker will require review and possible approval/permitting by County Highway.

We ask the Applicant to provide an item by item response to the above comments. Should you have any questions regarding this review, please do not hesitate to contact me at 845-686-2330 or by email at cmoore@cplteam.com.





Steven M. Neuhaus
County Executive

Orange County Department of Planning

124 Main Street
Goshen, NY 10924-2124
Tel: (845) 615-3840
Fax: (845) 291-2533

Alan J. Sorensen, FAICP
Commissioner

www.orangecountygov.com/planning
planning@orangecountygov.com

County Reply – Mandatory Review of Local Planning Action as per NYS General Municipal Law §239-l, m, &n

Local Referring Board: City of Middletown Planning Board
Applicant: Dewitt Acquisitions
Project Name: Dewitt Acquisitions Gas Station and Convenience Store
Proposed Action: Proposed site plan and special use permit to reopen an existing Gas Station and Convenience Store
Reason for County Review: Within 500 feet of municipal boundary (T. Wawayanda), State Route 17M (Dolson Ave.) and County Route 78.
Date of Full Statement: 9/16/2025

Referral ID #: MTC04-25M

Tax Map #: 54-1-15, 54-1-20

Local File #: N/A

Comments:


The Department has received the above referenced special use permit and site plan and has found no evidence that significant intermunicipal or countywide impacts would result from its approval. We would like to offer the following advisory comments:

1. Vehicle fueling stations are designated by NYSDEC as stormwater hotspots. As this application moves forward, the applicant should utilize best practices at the site that reduce the generation of pollutants from the site or prevent contact of rainfall with pollutants. Additionally, since the applicant proposes to replace the gas tanks, we recommend the City ensure double wall fuel tanks are installed to minimize potential for soil and ground water contamination.

County Recommendation: Local Determination

Date: 10/1/2025

Prepared by: V. Fernandez-Rogers
Planner Trainee


Alan J. Sorensen, FAICP
Commissioner of Planning

As per NYS General Municipal Law 239-m & n, within 30 days of municipal final action on the above referred project, the referring board must file a report of the final action taken with the County Planning Department. For such filing, please use the final action report form attached to this review or available on-line at www.orangecountygov.com/planning.



Short Environmental Assessment Form


Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Dewitt Acquisitions, Inc.			
Project Location (describe, and attach a location map): 18 County Route 78, Middletown, NY 10940			
Brief Description of Proposed Action: Reopen former gas station.			
Name of Applicant or Sponsor: Mark Dombal		Telephone: (845)206-1453	
		E-Mail: marksnk@outlook.com	
Address: 26 Mill Plain Road, 2nd Floor			
City/PO: Danbury		State: CT	Zip Code: 06811
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Middletown Building Department		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.1611 acres	
b. Total acreage to be physically disturbed?		.0892 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.161 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: V00289 and 336029 see attached	NO	YES
_____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Mark Dombal</u>	Date: <u>September 04, 2025</u>	
Signature: <u></u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

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USA Environmental Remediation Databases

Search Details from Environmental Remediation Databases

Site Record

Document Repository

Site-related documents are available for review through the [DEC Info Locator](#) 

Administrative Information

Site Name: Middletown Landfill

Site Code: V00289

Program: Voluntary Cleanup Program

Classification : N *

EPA ID Number:

Location

DEC Region: 3

Address: Near 159 Dolson Avenue

City: Middletown

Zip: 10940

County: Orange

Latitude: 41.427746

Longitude: -74.421782

Site Type:

Estimated Size: 18.45 Acres

Hazardous Waste Disposal Period

No Hazardous Waste Disposal information available.

Site Owner(s) and Operator(s)

Current Owner Name: Information Not Available

Site Document Repository

No Repository Information Available

Site Description

See also Site #336029

Site Location: The Middletown Landfill Site in an suburban portion of Orange County, NY. The site is located on 159 Dolson Avenue and is approximately 200 meters south of the shopping plaza on NY-17M in Middletown.

Predominant Site Features: The landfill is not capped. The ash from an on-site incinerator was disposed of at the site.

Current Site Use: The site still receives construction and demolition debris from town activities such as road cleaning, tree pruning, and catch basin cleaning.

Surrounding Uses: The surrounding parcels are currently used for a combination of commercial and industrial. The nearest residential area is 300 meters from the site.

Past Uses of the Site: The site was an active incinerator and landfill from 1952 to 1969, receiving municipal and commercial waste from the Town of Middletown.

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type
Hazardous Substances

Site Environmental Assessment

See Site #336029

Site Health Assessment

Hazardous waste deposition at the site has been confirmed and there is the potential for groundwater, soil, and surface water contamination due to leaching of material from the landfill. Limited surface water/sediment, groundwater, and surface soil sampling do not indicate any significant contamination. The testing of nearby residential drinking water supply wells in May 2000 indicates no impacts from the nearby landfill. Although the site is unfenced and the access road to the site is not secured, there is no evidence of trespassing. A recycling and ethanol production facility is proposed for construction on-site. Prior to construction, additional subsurface investigation is planned.

* Class N Sites: "DEC offers this information with the caution that the amount of information provided for Class N sites is highly variable, not necessarily based on any DEC investigation, sometimes of unknown origin, and sometimes is many years old. Due to the preliminary nature of this information, significant conclusions or decisions should not be based solely upon this summary."

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Site Record

Document Repository

Site-related documents are available for review through the [DEC Info Locator](#) 

Administrative Information

Site Name: Middletown Dump

Site Code: 336029

Program: State Superfund Program

Classification : 03

EPA ID Number: NYD980507057

Location

DEC Region: 3

Address: Dolson Avenue (Route 17M)

City: Middletown

Zip: 10940

County: Orange

Latitude: 41.427772

Longitude: -74.421159

Site Type: Landfill

Estimated Size: 22 Acres

Hazardous Waste Disposal Period

From: 1952

To: 1969

Institutional And Engineering Controls

No Institutional And Engineering Controls Information Available

Site Owner(s) and Operator(s)

Current Owner Name: City of Middletown

Current Owner(s) Address: City Hall

Middletown, NY, 10940

Current On-Site Operator: UNKNOWN3

Stated Operator(s) Address:

, ZZ,

Site Document Repository

No Repository Information Available

Site Description

Location Description:

The 20 acre site is located east of Dolson Avenue (NYS Rt. 17M), and adjacent to the City of Middletown's Wastewater Treatment Plant.

Site Features:

The landfill is not capped and had an incinerator. The ash from the incinerator was disposed of at the site.

Current Use:

The site may still be receiving construction and demolition debris from town activities such as road cleaning, tree pruning, and catch basin cleaning.

Surrounding Uses:

Commerical, industrial and agricultural properties, and the City wastewater treatment works

surround the land.

Past Uses of the Site:

This site was an active incinerator and landfill from 1952 to 1969, receiving municipal and commercial waste from the Town of Middletown. Approximately 450 tons of hazardous materials including benzene, toluene, ethanol, methanol, waste oil, and still bottom residues were transported to the landfill. Four hundred tons of the waste were incinerated, and the resulting ash was buried in the landfill. It is estimated that an additional 40 tons were incinerated and 10 tons were buried directly in to the landfill.

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type
STILL BOTTOM RESIDUE (UNSPECIFIED, MAY BE ANY
COMBINATION OF F001 THROUGH F005 WASTES)
METHANOL (F003)
TOLUENE (F005)
WASTE SOLVENTS

Site Environmental Assessment

A Phase I Investigation was completed in 1988. A Preliminary Site Assessment (PSA) was completed in 1993. Sampling conducted during the PSA included surface water, sediment, domestic well water, soil borings and groundwater. Sediment samples indicated low concentrations of methylene chloride and acetone, and one surface water sample indicated methylene chloride was present. The subsurface samples revealed one analyte, trichloroethane at 5ppb. In groundwater, two organic compounds were found exceeding NYS Class GA Groundwater Standards, 1-2 dichloroethene @ 36 ppb and trichloroethene @ 34 ppb.

The levels of organic contamination found in groundwater are low and infrequent (only 1 of 4 wells showed exceedance of groundwater standard). The levels found do not represent a significant threat to the environment.

Site Health Assessment

Hazardous waste deposition at the site has been confirmed and there is the potential for groundwater, soil, and surface water contamination due to leaching of material from the landfill. Limited surface water/sediment, groundwater, and surface soil sampling do not indicate any significant contamination. The testing of nearby residential drinking water supply wells in May 2000 indicates no impacts from the nearby landfill. Although the site is unfenced and the access road to the site is not secured, there is no evidence of trespassing. A recycling and ethanol production facility is proposed for construction on-site. Prior to construction, additional subsurface investigation is planned.

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Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri Thailand, Swisstopo, OpenStreetMap contributors, and the GIS User Community, Esri, HERE, Garmin, INRA, USGS, NPS

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Indiana Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

Facility Information from Bulk Storage Database

An official website of New York State.

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NYS Department of Environmental Conservation

DEK Environmental Remediation Databases

Facility Type: Retail Gasoline Sales

Site Name: DB MARKETING COMPANY #631

Address: 16-18 COUNTY LINE RD RTE 78

Locality: MIDDLETOWN

State: NY

Zipcode: 10940

County: Orange

Facility (Property) Owner(s) Information

Facility Owner: DB COMPANIES, INC.

Mail Contact: DB COMPANIES INC, P.O. BOX 9471, PROVIDENCE, RI, 02840-9471

Facility Operator

Facility Operator: UNKNOWN

Tank Information



Tank No.	Tank Location	Status	Capacity (Gal.)
1	Underground including vaulted with no access for inspection	Closed - Removed	10000
2	Underground including vaulted with no access for inspection	Closed - Removed	6000
3	Underground including vaulted with no access for inspection	Closed - Removed	6000

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NYS Department of Environmental Conservation

ORM Environmental Remediation Databases

Bulk Storage Tank Details

◀ First

◀◀ Previous

▶▶ Next

▶ Last

1 out of 3

Tank Information

Site Number: 3-177067

Site Name: DB MARKETING COMPANY #631

Tank Number: 1

Tank Location: Underground including vaulted with no access for inspection

Subpart:

Category: 1

Tank Status: Closed - Removed

Tank Install Date: 10/01/1980

Tank Closed Date: 06/24/2002

Tank Out Of Service Date:

Tank Capacity: 10000 gal.

Tank Type: 01 - Steel/Carbon Steel/Iron

Tank Internal Protection: None

Tank External Protection: Fiberglass

Tank External Protection: Retrofitted Sacrificial Anode

Tank Secondary Containment: None

Tank Leak Detection: Other

Overfill: Float Vent Valve

Spill Prevention: Catch Basin

Dispenser: Pressurized Dispenser

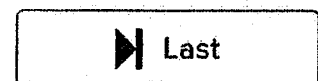
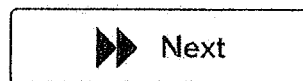
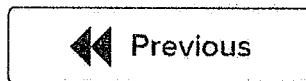
Pipe Location: Underground/On-ground

Pipe Type: Steel/Carbon Steel/Iron



NYS Department of Environmental Conservation
D&E Environmental Remediation Databases

Bulk Storage Tank Details



2 out of 3

Tank Information

Site Number: 3-177067

Site Name: DB MARKETING COMPANY #631

Tank Number: 2

Tank Location: Underground including vaulted with no access for inspection

Subpart:

Category: 1

Tank Status: Closed - Removed

Tank Install Date: 10/01/1980

Tank Closed Date: 06/24/2002

Tank Out Of Service Date:

Tank Capacity: 6000 gal.

Tank Type: 01 - Steel/Carbon Steel/Iron

Tank Internal Protection: None

Tank External Protection: Fiberglass

Tank External Protection: Retrofitted Sacrificial Anode

Tank Secondary Containment: None

Tank Leak Detection: Other

Overfill: Float Vent Valve

Spill Prevention: Catch Basin

Dispenser: Pressurized Dispenser

Pipe Location: Underground/On-ground

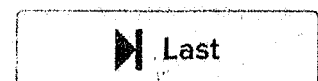
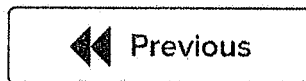
Pipe Type: Steel/Carbon Steel/Iron



NYS Department of Environmental Conservation

DER Environmental Remediation Databases

Bulk Storage Tank Details



3 out of 3

Tank Information

Site Number: 3-177067

Site Name: DB MARKETING COMPANY #631

Tank Number: 3

Tank Location: Underground Including vaulted with no access for inspection

Subpart:

Category: 1

Tank Status: Closed - Removed

Tank Install Date: 10/01/1980

Tank Closed Date: 06/24/2002

Tank Out Of Service Date:

Tank Capacity: 6000 gal.

Tank Type: 01 - Steel/Carbon Steel/Iron

Tank Internal Protection: None

Tank External Protection: Fiberglass

Tank External Protection: Retrofitted Sacrificial Anode

Tank Secondary Containment: None

Tank Leak Detection: Other

Overfill: Float Vent Valve

Spill Prevention: Catch Basin

Dispenser: Pressurized Dispenser

Pipe Location: Underground/On-ground

Pipe Type: Steel/Carbon Steel/Iron

DEWITT ACQUISITIONS

26 MILL PLAIN ROAD, DANBURY, CT 06811

PROJECT DESCRIPTION

18 COUNTY RD 78, MIDDLETOWN, NY 10940, USA

REOPEN FORMER STORE/GAS STATION REMOVE & REPLACE TANKS/ANCHOR SYSTEM, ADD NEW CANOPY WITH 5 NEW PUMPS



3D VIEW
OCT-15-2025 NOT TO SCALE

DEMOLITION NOTES

- THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS INDICATED ON THE DRAWINGS AS REQUIRED TO PERFORM ALL CONTRACT WORK OR AS OTHERWISE DIRECTED BY ENGINEER.
- ALL DEFECTIVE MASONRY, BRICK COLUMNS AND EXISTING WALLS SHALL BE CHOPPED OUT AND/OR PATCHED FREE OF ALL IRREGULARITIES AND SHALL MATCH ADJACENT WALLS IN FINISH AND THICKNESS.
- ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE CLIENT OR AS OTHERWISE DIRECTED.
- IN ALL AREAS WHERE DEMOLITION REMOVAL OF TILE, TACKLES, PARTITIONS, ETC. CAUSES AN UNEVENNESS IN SLAB. THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB TO RECEIVE NEW FINISHED FLOORING.
- ALL EXPOSED LIGHT FIXTURES, WIRING, SWITCHES, AND METAL WIRING, SWITCHES AND ALL MOLDING NOT BEING REUSED SHALL BE REMOVED AND EITHER STORED OR CARTED AWAY BY THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY POWER AND LIGHTS THROUGHOUT THE SPACE UNDER CONSTRUCTION AND DEMOLITION AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL REMOVE TO THE SOURCE CAP AND FLUSH OFF BEHIND FINISH SURFACES ALL PROJECTING PLUMBING, FLOOR, ELECTRICAL, TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS WHICH ARE BEING ABANDONED. FIRE RATINGS SHALL BE MAINTAINED.
- ALL EXISTING TO REMAIN, EXISTING RELOCATED, OR NEW ITEMS INSTALLED IN ADDITION TO BEING APPLIED AND PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION SHALL BE THOROUGHLY CLEANED.
- UPON COMPLETION OF DEMOLITION WORK, THE GENERAL CONTRACTOR SHALL PROVIDE THAT ALL AREAS BE LEFT BROOM CLEAN.
- THE GENERAL CONTRACTORS SHALL INSPECT ALL EXISTING SURFACES AND WHERE AS A RESULT OF DEMOLITION, FINISHED SURFACES DO NOT ALIGN, THE EXISTING FINISH SHALL BE CHOPPED AWAY, NEW CORNER BEADS AND STOPS INSTALLED AND SURFACE SMOOTH, FLUSH ALIGNED SURFACE.
- ALL DEMOLITION TO BE PERFORMED IN ACCORDANCE WITH THE BUILDING CODES 2010 ORDINANCE OF THE STATE OF NEW YORK.
- THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY PLASTIC DROP CLOTH PARTITIONS TO PROTECT ADJACENT BUILDING PROPERTY WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
- ALL DEBRIS AND WAIST MATERIALS TO BE REMOVED FROM JOB SITE IN AN APPROPRIATE CONTAINER AND TRANSPORTED TO A RECYCLING FACILITY.

CONCRETE:

- IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MADE SURE THAT THE SOIL BEARING CAPACITY IS 3,000 P.S.F. MINIMUM.
- FOUR CONCRETE FOR FOOTINGS CONTINUOUSLY AND TO FOOTINGS STIFFLY. SIZE AS AND SHOWN ON DRAWINGS. FOOTINGS TO BE REINFORCED WITH #3/4 RE-BARS TO BE USED AT 42" BELOW GRADE AT ALL POINTS EXCEPT WHERE IT BEARS ON ROCK LEDGE #6 RE-BARS TO BE USED TO PIN REINFORCEMENT MAY BE ELIMINATED.
- CONCRETE FOR FOOTING TO DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS SAMPLES FOR STRENGTH TEST OF EA. CLASS OF CONCRETE PHASE EA. DAY, SHALL BE TAKEN NOT LESS THAN ONCE A DAY, NOR LESS THAN ONCE FOR EA. 150 CUBIC YARDS (115 M3), NOR LESS THAN ONCE FOR EA. 5,000 SF OR EA. 5,000 SF OR 462 SQ. FT. OF SURFACE AREA FOR SLABS OR WALLS.
- FOUNDATION WALLS TO BE CONCRETE BLOCK.
- PROVIDE BITUMASTIC WATERPROOFING OVER 1/2" CEMENT PARGE WITH ANTI-HYDRO ON THE OUTSIDE OF WALL FOUNDATION WALLS. PROVIDE WATERPROOF CEMENT COVE WHERE FOUNDATION WALL MEETS FOOTINGS.
- INSTALL 4" DIAMETER PVC FOOTING DRAINS WITH MINIMUM 12" GRAVEL.
- CONCRETE SLABS TO BE TROWEL FINISHED AND REINFORCED WITH #6x #10@10 WELDED WIRE MESH POURED OVER 6 MIL VAPOR BARRIER AND 4" GRAVEL.
- AT OWNER'S OPTION, SUBSTITUTE 12"x12" VINYL TILE FINISH FLOORING MATERIAL.
- RESTROOM: INSTALL 9 COURSES OF 6"X6" CERAMIC TILE ON BOTTOM HALF OF WALLS, OR ALTERNATIVELY INSTALL F.P.R. SURFACE ON ENTIRE RESTROOM WALLS.
- 1/2" GYP. BOARD TO BE INSTALLED WITH LONG AXIS HORIZONTAL. BOTTOM RUN AT FLOOR LINE SHALL BE FLINTKOTE STA-DRI (TM) OR EQUAL GREEN BOARD FOR MOISTURE PROTECTION

NOTES:

- ALL AC AND HEAT UNITS TO BE INSTALL NEW
- ALL ELECTRICAL WIRING TO BE MC TYPE CABLE (BX WIRING)
- ALL WALLS IN KITCHEN / OVEN & PREPARATION AREA TO BE COVER W/STAINLESS STEEL PANELS
- INSTALLATION OF VENTILATION SYSTEM MUST COMPLY WITH NFPA CODE 96 AND LOCAL BUILDING / FIRE DEPT. CODES
- EXHAUST DUCTS MUST BE CONSTRUCTED OF NO LESS THAN 16 GA CARBON STEEL
- ALL SEAMS , JOINTS & PENETRATIONS SHALL BE CONTINUOUS EXTERNAL WELD AS LIQUID-TIGHT (SEE 11)
- ALL GARBAGE TO BE COLLECTED IN GARBAGE BAGS PLACED IN APPROPRIATE CONTAINER AND GET READY FOR DISPOSAL IN DUMPSTER GARBAGE RECEPTACLE IN REAR OF BUILDING

GENERAL NOTES

- CONTRACTOR OR SUB-CONTRACTOR TO VISIT SITE TO CONFIRM ALL SIZES AND EXAMINE ALL EXISTING CONDITIONS, AND MEASUREMENTS PRIOR TO SUBMITTING A BID. ANY DISCREPANCIES MUST BE REPORTED.
- CONTRACTOR AND/OR SUB-CONTRACTORS ARE TO PERFORM ALL WORK AS SHOWN IMPLIED OR THAT IS REQUIRED TO PROVIDE A COMPLETE AND FINISHED KEY IN LOCK JOB EVEN IF EACH AND EVERY SPECIFIC ITEM IS NOT SPECIFICALLY CALLED FOR
- WHILE EVERY ATTEMPT IS MADE IN THE PREPARATION OF THESE PLANS TO AVOID MISTAKES THE PREPARE CAN NOT GUARANTEE AGAINST HUMAN ERROR, THE CONTRACTOR ON THE JOB MUST BE CHECK AND CONFIRM ALL DIMENSIONS AND DETAILS AND BE RESPONSIBLE FOR SAME.
- CODES: ALL WORK AND MATERIALS MUST CONFORM TO THE LOCAL AND STATE BUILDING CODES, NATIONAL BOARD OF FIRE UNDERWRITERS.
- MATERIALS: SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. ALL WORK SHALL COMPLY WITH APPLICABLE SECTIONS OF THE 2015 BUILDING STATE AND LOCAL CODES AND THE GENERALLY ACCEPTED STANDARDS AS LISTED IN THE NY STATE BUILDING CODE.

DESIGN LOADS POUND PER SQ. FOOT

- SNOW 20# LL. WIND LOAD 3-second gust

To Secure Roof
 WIND FOR S.I.: 0.447 m/s x 110 = 49.17 m/s Use 2-1/2" #8 Wood Screws (Fastenings)

GENERAL CONDITIONS NOTES

MOTOR VEHICLE SERVICE STATION WITH CONVENIENCE STORE
 SPECIFICATIONS : THESE SPECIFICATIONS ARE MADE IN GENERAL FORM ONLY AND NOT SPECIFICALLY FOR ANY ONE BUILDING. THE OWNER IN APPLYING THESE SPECIFICATIONS, ASSUMES COMPLETE RESPONSIBILITY FOR THEIR USE, CHANGES, OR OMISSIONS.
 SCOPE OF WORK : THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, APPLIANCES AND EQUIPMENT REQUIRED TO COMPLETE ALL WORK AS SHOWN ON THE DRAWINGS NECESSARY FOR A COMPLETE JOB, UNLESS OTHERWISE SPECIFIED. ALL MATERIAL AND WORKMANSHIP SHALL BE OF GOOD QUALITY.
 OMISSIONS : ALL WRITTEN FIGURES (NOTES & DIMENSIONS) ON THE FLOOR PLANS OR SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DRAWN FIGURES (ELEVATIONS). DO NOT SCALE PRINTS. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR BEFORE START OF CONSTRUCTION. ANY DISCREPANCIES ON THE PLANS OR SPECIFICATIONS MUST BE REPORTED TO A SOTTILE, P.E. PRIOR TO CONSTRUCTION.
 CODES : ALL WORK AND MATERIALS MUST CONFORM TO THE LOCAL AND STATE BUILDING CODES, NATIONAL BOARD OF FIRE UNDERWRITERS, NYS ENERGY CONSERVATION CODE AND REQUIREMENTS. MATERIALS : SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. ALL WORK SHALL COMPLY WITH APPLICABLE SECTIONS OF THE STATE AND LOCAL CODES AND THE GENERALLY ACCEPTED STANDARDS AS LISTED IN THE STATE BUILDING CODE.
 OWNERSHIP OF PLANS : THESE PLANS ARE THE PROPERTY OF A.SOTTILE,PE ANY USE OR REPRODUCTION, IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF A.SOTTILE,PE, IS PROHIBITED. ANY PERSON OR CORPORATION USING PLANS WITHOUT PROPER AUTHORIZATION WILL BE RESPONSIBLE TO COMPENSATE THE COMPANY. THIS PLAN IS FOR THE CONSTRUCTION OF ONE BUILDING ONLY.
 ENGINEER STATUS : ENGINEER HAS NOT BEEN RETAINED BY OWNER TO PROVIDE PERIODIC JOB INSPECTIONS OF JOB ADMINISTRATION. PURCHASER OF THE PLANS SHALL ASSUME FULL RESPONSIBILITIES FOR ANY DEVIATIONS OR CHANGES TO THESE PLANS.

DISCLAIMER

THE DRAWINGS DO NOT NECESSARILY PROVIDE ALL THE DETAILS TO COVER THE FUNDAMENTALS IN BUILDING CONSTRUCTION. WE ARE COMMISSIONED TO DEVELOP DRAWINGS TO DETERMINE THE OVERALL STRUCTURAL INTEGRITY OF THE BUILDING IN TERMS LOAD BEARING CAPACITY. IT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER AND THE RESPECTIVE CONTRACTOR TO PROPERLY CONSTRUCT THE BUILDING ACCORDING TO ACCEPTABLE INDUSTRY STANDARDS AND NEW YORK STATE CODES. THE CONTRACTORS OR THE PROPERTY OWNER SHOULD ASK FOR WRITTEN CLARIFICATION FROM US WHEN A QUESTION ARISES. THE CONTRACTORS AND THE PROPERTY OWNER ARE SOLELY RESPONSIBLE FOR ANY DEFECTS DUE TO MISINTERPRETATION

PLUMBING

- ALL PLUMBING TO BE IN ACCORDANCE WITH LOCAL CODES AND THE STATE OF NEW YORK PLUMBING CODE.
- ALL UNDERGROUND WASTE LINES SHALL BE CAST IRON. WASTE LINES ABOVE GROUND MAY BE APPROVED COPPER, COPPER ALLOY, OR PVC PIPE.
- ALL WATER LINES SHALL BE COPPER OR COPPER ALLOY PIPE.
- THERE SHALL BE SHUT-OFFS PROVIDED FOR ALL FIXTURES. ALL EXPOSED PIPES IN BATHROOMS TO BE CHROME, BRASS OR GOLD PLATED TO MATCH FAUCETS.
- PROVIDE AND INSTALL ALL FIXTURE AS MANUFACTURED BY "KOHLER" OR "ELJER" UNLESS OTHERWISE DIRECTED.
- PROVIDE ALL SUPPLY PIPES, WASTE PIPES, TRAPS, CLEAN OUTS, AND VENTING NECESSARY FOR THE SUCCESSFUL OPERATION OF ALL PLUMBING FIXTURES. A WET PLUMBING TEST SHALL BE COMPLETED SUCCESSFULLY PRIOR TO INSTALLING DRYWALL.
- PROVIDE WATER LINE WITH SHUT-OFF AND DRAIN CONNECTION FOR ALL APPLIANCES THAT REQUIRED SO.
- PROVIDE MINIMUM TWO FROST-PROOF HOSE BIBBS, UNLESS OTHERWISE DIRECTED.
- PROVIDE 1" INSULATION IN ALL PIPES IN UNHEATED SPACES SUCH AS CRAWL SPACES, BASEMENT, ATTIC AND OVERHANG FRAMING, ETC.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE 2020 BUILDING CODE OF NEW YORK STATE (BCNYS), THE 2020 FIRE CODE OF NEW YORK STATE (FPNYS), THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE (EBNYS), THE 2020 PLUMBING CODE OF NEW YORK STATE (PCNYS), THE 2020 MECHANICAL CODE OF NEW YORK STATE (MCNYS), THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS), AND ALL OTHER APPLICABLE STATE AND LOCAL CODES AND REGULATIONS.
- GROUND SNOW LOAD P_g - 50 psf
 EXPOSURE FACTOR C_e - 1.0
 LOAD IMPORTANCE FACTOR, C_i - 1.0
 THERMAL FACTOR, C_t - 1.0
 DESIGN ROOF SNOW LOAD - 20 psf + DRIFT
 # BASIC WIND SPEED - 110 mph
 WIND LOAD IMPORTANCE FACTOR, I - 1.0
 WIND EXPOSURE - C
 # SEISMIC PEAK VELOCITY-RELATED ACCELERATION, A_v - 0.11
 PEAK ACCELERATION, A_a - 0.12
 SEISMIC HAZARD EXPOSURE GROUP - II
 SEISMIC PERFORMANCE CATEGORY - C
 SOIL PROFILE TYPE - D
 BASIC STRUCTURAL SYSTEM/SEISMIC (RESISTING SYSTEM) - BUILDING FRAME SYSTEM/REINFORCED MASONRY SHEAR WALLS

FOUNDATIONS - GENERAL:
 1- CONTINUOUS FOOTINGS & SPREAD FOOTINGS SHALL BEAR ON SOIL CAPABLE OF SUSTAINING A NET ALLOWABLE BEARING PRESSURE OF 3000 PSF UNDER SERVICE LIVE AND DEAD LOAD.
 2- FOOTINGS MAY BE POURED INTO AND EARTH-FORMED TRENCH IF SOIL CONDITIONS PERMIT.
 3- ALL BEARING MATERIAL SHALL BE INSPECTED BY THE INDEPENDENT TESTING AGENCY PRIOR TO CONCRETE PLACEMENT. THE INDEPENDENT TESTING AGENCY SHALL BE THE SOLE JUDGE AS TO THE SUITABILITY OF THE BEARING MATERIAL. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED.
 4- BOTTOM OF EXTERIOR FOOTINGS SHALL BE MINIMUM OF 48 INCHES BELOW FINAL GRADE.
 5- FOUNDATIONS WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACKFILL PRESSURES UNTIL FLOOR SLABS AT TOP AND BOTTOM ARE IN PLACE.
 6- WHERE FOUNDATIONS WALLS ARE TO HAVE EARTH PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
 CONCRETE AND REINFORCEMENT STEEL

1- CONCRETE SHALL CONFORM TO ACI BUILDING CODE (318R-95) AND SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH AND DENSITY, IN ACCORDANCE WITH THE FOLLOWING:

STRENGTH DENSITY	MAX W/C	PSI	PCF	RATIO
INTERIOR SLABS, EXTERIOR SLABS		4000	145	0.45
CURBS, SIDEWALKS		4000	145	0.50
ALL OTHER CONCRETE (I.N.O.)		3000	145	0.55
CONCRETE IN BUNKER		4000	150	0.45

2- REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE.
 3- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A186.
 4- MINIMUM CONCRETE COVER, UNLESS NOTED OTHERWISE:
 UNFORMED SURFACE ON CONTACT WITH THE GROUND, 3 IN
 FORMED SURFACES EXPOSED TO EARTH OR WEATHER.
 BEAMS, GIRDERS, AND COLUMNS 1-1/2 IN
 SLABS, WALLS, AND JOISTS 1 1/2 IN
 #11 BARS AND SMALLER 3/4 IN
 #14 AND #18 BARS 1-1/2 IN

5- LAP SPLICES SHALL BE IN ACCORDANCE WITH THE FOLLOWING TABLE, UNLESS NOTED OTHERWISE. WHERE CLASSES ARE NOT CALLED OUT ON DRAWINGS, USE CLASS 'B' SPLICES. SPLICES SHALL BE AT LEAST 24 INCHES.
 TENSION SPLICES (INCHES) COMPRESSION SPLICES

BAR SIZE	TOP	BARS	OTHER	BARS
#3	16	21	12	16
#4	21	28	16	21
#5	27	35	21	27
#6	35	46	27	35
#8	46	61	35	46

 COMPRESSION DOWEL EMBEDMENT: 22 BAR DIAMETERS
 LAP WELDED WIRE FABRIC ONE SPACING OF CROSS WIRES PLUS 2".
 6- BASE PLATES, ANCHOR BOLTS, SUPPORT ANGLES, ETC. BELOW GRADE SHALL BE COVERED WITH A MINIMUM OF 3" OF CONCRETE.
 REINFORCED MASONRY

- REINFORCED MASONRY SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH, f_m, OF 1500 PSI. MASONRY UNITS SHALL BE NORMAL WEIGHT BLOCK CONFORMING TO ASTM C90, GRADE N, TYPE 1 AND SHALL HAVE A MINIMUM AREA COMPRESSIVE STRENGTH OF 1900 PSI. MORTAR SHALL CONFORM TO ASTM C270, TYPE S, U, N, AND TYPE N FOR INTERIOR WALLS GROUT SHALL CONFORM TO ASTM C476. GROUT SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 2000 psi AND MINIMUM OF 115 psi SLUMP AT POINT OF PLACEMENT SHALL BE 9" - 1".
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE.
- CONTINUOUS WIRE REINFORCING (JOINT REINFORCING) SHALL BE GALVANIZED TRUSS OR LADDER TYPE FORMED FROM #9 GAUGE COLD-DRAWN STEEL WIRE COMPLYING WITH ASTM A82. JOINT REINFORCING SHALL BE SPACED AT 16" O.C. VERTICALLY IN ALL MASONRY.
- SEE DRAWINGS FOR LOCATIONS OF VERTICAL CONTROL JOINTS. HORIZONTAL BOND BEAM AND LINTEL REINFORCING SHALL BE STOPPED EITHER SIDE OF VERTICAL CONTROL JOINTS.
- ALL REINFORCED CELLS AND ALL CELLS BELOW FINISH FLOOR SHALL BE GROUDED SOLID.
- WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL BLOCK CORE, IT SHALL NOT BE SLOPED MORE THAN ONE. DOWELS MAY BE GROUDED INTO A CELL IN VERTICAL ALIGNMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCING.
- REINFORCING STEEL SHALL BE SECURED IN PLACE BEFORE GROUING STARTS.
- SPLICED REINFORCING SHALL BE LAPPED 48 BAR DIAMETERS OR 24 INCHES, WHICHEVER IS GREATER. SPLICED BARS SHALL BE WIRED TOGETHER.
- VERTICAL BARS SHALL BE HELD IN POSITION OT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 200 DIAMETERS OF THE REINFORCING, NOR 10 FEET. BARS SHALL BE IN PLACE PRIOR TO GROUING.
- VERTICAL REINFORCING BARS SHALL HAVE A MINIMUM CLEARANCE OF 1/4 OF AN INCH FROM THE MASONRY FOR FINE GROUT AND 1/2 INCH FOR COARSE GROUT.
- VERTICAL CELLS THAT WILL BE GROUDED SHALL HAVE A VERTICAL ALIGNMENT TO MAINTAIN A CONTINUOUS CELL AREA NOT LESS THAN 12- GROUING SHALL BE STOPPED 1-1/2" BELOW THE TOP OF A COURSE SO AS TO FORM A KEY AT THE POUR JOINT.
- GROUING OF MASONRY BEAMS OVER OPENINGS SHALL BE DONE IN ONE CONTINUOUS OPERATION.
- ALL BOLTS, ANCHORS, ETC. INSERTED IN THE WALLS, SHALL BE GROUDED SOLID INTO POSITION.

- STRUCTURAL STEEL
- STEEL SHALL CONFORM TO THE FOLLOWING GRADES:
 ALL CHANNELS, ANGLES, PLATES, ETC. (UNO) A36 (Fy=36)
 WF A572 (Fy=50)N
 STRUCTURAL TUBE A500 (Fy=46)
 STEEL PIPE A53 (Fy=35)
 ANCHOR BOLTS A307
 BOLTS A325
 WELDING ELECTRODES E70XX
 THREADED ROD ANCHORS A36
 SHEAR STUDS A108
 - ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERRECTED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE (1989), EXCEPT AS MODIFIED IN THESE NOTES AND PROJECT SPECIFICATIONS.
 - THE STEEL STRUCTURE IS LATERAL UNSTABLE AND IS DEPENDENT UPON DIAPHRAGM ACTION OF THE METAL ROOF DECK AND ATTACHMENT OF THE WALL SYSTEM FOR STABILITY AND FOR RESISTANCE TO WIND AND SEISMIC FORCES. PROVIDE ALL TEMPORARY SUPPORTS REQUIRED FOR STABILITY AND FOR RESISTANCE TO WIND AND SEISMIC FORCES UNTIL THESE ELEMENTS ARE FULLY SECURED TO EACH OTHER AND CAPABLE OF PROVIDING THIS SUPPORT.
 - THE FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF ALL CONNECTIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE SCHEMATIC AND ARE ONLY INTENDED TO SHOW THE RELATIONSHIP OF MEMBERS CONNECTED. CONNECTION DETAILS INDICATED ON THE DRAWINGS SHALL BE INCORPORATED INTO FABRICATOR'S CONNECTION DESIGN. ALL SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY THE FABRICATOR'S ENGINEER WITH THE ENGINEER'S SEAL. ENGINEER'S SEAL MAY BE QUALIFIED (FOR DESIGN OF CONNECTIONS ONLY).
 - ADDITIONAL DESIGN LOADS FROM ROOF EQUIPMENT OR OTHER CONCENTRATED LOADS SHOWN ON THE DRAWINGS SHALL BE CONSIDERED AS COLLATERAL LOADS. THESE LOADS SHALL BE CONSIDERED IN THE WELDING.
 - ALL STRUCTURAL STEEL WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY STANDARD D1.1 LATEST EDITION.
 - ALL STRUCTURAL STEEL WELDING ELECTRODES SHALL CONFORM TO A5S A5.1 OR AS 5 E-70XX.
 - FIELD WELDING SHALL BE SHOWN ON ERECTION DRAWINGS.
 - ALL FIELD FULL PENETRATION WELDS SHALL BE INSPECTED AND TESTED BY A TESTING AGENCY
 - ALL EXPOSED WELDED CONNECTIONS SHALL BE GROUND SMOOTH AND SUBJECT TO ARCHTECT APPROVAL. THE CONTRACTOR SHALL SUBMIT WRITTEN PROCEDURE AND DETAILS TO THE ARCHITECT FOR REVIEW PRIOR TO COMMENCING THE WORK.
 - PAINT ALL WELDS WITH RUST INHIBITIVE PAINT.



"V"	VERTICAL RESISTANT
"R"	ROOF TRUSS

CURRENT CODE ANALYSIS - NYSBC (NEW YORK STATE BUILDING CODE) - GASOLINE STATIONS
 1. OCCUPANCY CLASSIFICATION
 TYPICALLY CLASSIFIED AS GROUP M (MERCANTILE) IF THE GAS STATION INCLUDES A CONVENIENCE STORE.

MECHANICAL ROOMS, PUMP ROOMS OR STORAGE AREAS MAY BE CLASSIFIED AS GROUP S-1 (MODERATE HAZARD STORAGE).

2. CONSTRUCTION TYPE
 COMMONLY TYPE II-B OR TYPE V-B, DEPENDING ON WHETHER NONCOMBUSTIBLE OR COMBUSTIBLE MATERIALS ARE USED.

CONSTRUCTION TYPE AFFECTS:

MAXIMUM HEIGHT

MAXIMUM AREA

FIRE-RESISTANCE REQUIREMENTS

3. HEIGHT AND AREA LIMITATIONS
 DEPENDING ON OCCUPANCY CLASSIFICATION AND CONSTRUCTION TYPE (TABLES 504.3 AND 506.2 BCNYS).

EXAMPLE:

GROUP M, TYPE II-B MAX HEIGHT 75 FT, MAX AREA 23,000 SF WITHOUT SPRINKLERS.

4. FIRE SEPARATION & FIRE PROTECTION
 SECTION 406.7 BCNYS – MOTOR FUEL-DISPENSING FACILITIES:

CANOPIES MUST BE CONSTRUCTED OF NONCOMBUSTIBLE OR LIMITED-COMBUSTIBLE MATERIALS (SEE TABLE 601).

NO FIRE-RATED SEPARATION REQUIRED BETWEEN CANOPY AND OUTDOOR SPACE IF THERE ARE NO ENCLOSED SPACES ABOVE.

SEPARATION TO ADJACENT PROPERTIES:

TABLE 602 ESTABLISHES FIRE SEPARATION DISTANCES AND REQUIRED FIRE-RESISTANCE BASED ON LOT LINE DISTANCES.

DISPENSERS MUST HAVE EMERGENCY SHUT-OFFS.

REQUIREMENTS FOR SPILL CONTROL AND CONTAINMENT.

5. MEANS OF EGRESS
 USUALLY TREATED AS MERCANTILE OCCUPANCY MINIMUM TWO EXITS REQUIRED IF AREA > 1,500 SF.

MUST COMPLY WITH MINIMUM CORRIDOR WIDTHS (MIN. 36" CLEAR WIDTH IN MERCANTILE OCCUPANCIES).

6. ACCESSIBILITY (ADA/NYSBC CHAPTER 11)
 ALL PUBLIC AREAS MUST BE ACCESSIBLE.

SPECIFIC REQUIREMENTS:

RAMPS 1:12 SLOPE

DOORS MIN. 32" CLEAR WIDTH

ADA CIRCULATION SPACE AT FUEL PUMP ISLANDS IF DIRECT SERVICE TO CUSTOMERS

7. ENERGY CODE (NYS ENERGY CONSERVATION CONSTRUCTION CODE)
 APPLIES TO ALL CONDITIONED SPACES (INCLUDING CONVENIENCE STORES).

REQUIREMENTS INCLUDE:

BUILDING ENVELOPE INSULATION

HIGH-EFFICIENCY HVAC

ENERGY-EFFICIENT LIGHTING (LED, OCCUPANCY SENSORS)

8. FUEL DISPENSING REGULATIONS (NFPA & BCNYS)
 TIED CLOSELY TO NFPA 30A AND FPNYS:

MINIMUM SEPARATION DISTANCES BETWEEN DISPENSERS AND BUILDINGS (MIN. 10 FT).

EMERGENCY SHUT-OFF VALVES REQUIRED.

BREAKAWAY DEVICES REQUIRED ON HOSES.

IMPACT PROTECTION (BOLLARDS) MUST COMPLY WITH BCNYS AND NFPA 30A.

CANOPIES:

MUST NOT BE USED FOR STORAGE.

ELECTRICAL INSTALLATIONS UNDER CANOPIES MUST BE RATED FOR CLASS I, DIVISION 2 LOCATIONS (NEC REQUIREMENT).

9. STRUCTURAL LOAD CONSIDERATIONS
 SNOW LOADS VARY BY REGION IN NEW YORK STATE (MIN. 30 PSF TYPICAL).

WIND LOADS PER ASCE 7-16 (90-115 MPH DEPENDING ON COUNTY).

SEISMIC GENERALLY LOW HAZARD IN MOST OF THE STATE (CATEGORY B).

10. SIGNAGE & LIGHTING
 REVIEW FOR:

STRUCTURAL LOADS ON SIGNS (SEE BCNYS CHAPTER 16).

ILLUMINATED SIGNS MUST COMPLY WITH ELECTRICAL CODE.

CANOPY LIGHTING MUST BE LISTED FOR HAZARDOUS LOCATIONS IF INSTALLED ABOVE DISPENSERS.

11. HAZARDOUS MATERIALS
 INVENTORY REQUIRED PER FPNYS 5001.5.2.

MAXIMUM ALLOWABLE QUANTITIES WITHOUT SPECIAL SYSTEMS:

GASOLINE: 600 GALLONS INDOORS (RARE SITUATION).

FUEL USUALLY STORED UNDERGROUND REGULATED BY ENVIRONMENTAL CONSERVATION LAW.

12. ENVIRONMENTAL REGULATIONS
 TANK INSTALLATIONS REGULATED BY NYSDEC (NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION):

6 NYCRR PART 613 – PETROLEUM BULK STORAGE

UNDERGROUND STORAGE TANK (UST) REGISTRATION

TANK TIGHTNESS TESTING AND LEAK MONITORING REQUIRED

CODE ANALYSIS

2020 BUILDING CODE OF NEW YORK STATE (BCNYS) – BASED ON 2018 IBC.
 2020 FIRE CODE OF NEW YORK STATE (FCNYS) – BASED ON 2018 IFC.
 2020 PLUMBING CODE OF NEW YORK STATE (PCNYS) – BASED ON 2018 IPC.
 2020 MECHANICAL CODE OF NEW YORK STATE (MCNYS) – BASED ON 2018 IMC.
 2020 FUEL GAS CODE OF NEW YORK STATE (FGCNYS) – BASED ON 2018 FGC.
 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS) – BASED ON 2018 IECC.
 ICC / ANSI 1117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

MISCELLANEOUS

THESE GENERAL NOTES SUPPLEMENT THE PROJECT SPECIFICATIONS. REFER TO PROJECT SPECIFICATIONS FOR FURTHER REQUIREMENTS.

STRUCTURAL DRAWINGS ARE INTENDED TO BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND CIVIL DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SUCH REQUIREMENTS INTO THEIR SHOP DRAWINGS AND CONSTRUCTION.

NO OPENINGS SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE PROFESSIONAL OF RECORD.

NO CHANGE IN SIZE, MATERIAL, OR DIMENSIONS OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE PROFESSIONAL OF RECORD.

OPENINGS BETWEEN 1" AND 4" OR LESS ON ANY SIDE ARE GENERALLY NOT SHOWN ON THE STRUCTURAL DRAWINGS. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SUCH OPENINGS.

THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.

THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS A RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCING.

DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS ONLY.

THE CONTRACTOR'S CONSTRUCTION AND/OR ERECTION SEQUENCES SHALL RECOGNIZE AND ACCOUNT FOR THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD.

THE CONTRACTOR SHALL INFORM THE PROFESSIONAL OF RECORD IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE PROFESSIONAL OF RECORD'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA, OR OTHER SUBMITTALS. UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE PROFESSIONAL OF RECORD OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND HAS RECEIVED WRITTEN APPROVAL OF THE SPECIFIC DEVIATION.

CONNECTIONS OF ALL ITEMS SUPPORTED BY THE STRUCTURE ARE THE RESPONSIBILITY OF THE DISCIPLINES THAT ARE DESIGNING AND INSTALLING SUCH ATTACHMENTS. THESE CONNECTIONS SHALL BE DESIGNED TO RESIST ALL GRAVITY, WIND, WIND UPLIFT, SEISMIC, THERMAL LOADS, AND ANY OTHER APPLICABLE FORCES.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCING WORK.

UNLESS NOTED OTHERWISE, SUBMIT SHOP DRAWINGS FOR ALL FABRICATED MATERIALS FOR REVIEW. DESIGN DRAWINGS SHALL NOT BE REPRODUCED OR USED AS SHOP DRAWINGS. SHOP DRAWINGS WILL NOT BE REVIEWED UNLESS THEY HAVE BEEN CHECKED, INITIALED BY THE CHECKER, AND STAMPED APPROVED BY THE CONTRACTOR.

NOTE 1: BUILDING CODE DESIGN CRITERIA FOR MOST STRICT OCCUPANCY LISTED HEREIN UNLESS NOTED OTHERWISE.

USGS PROVIDED OUTPUT
 BUILDING CODE REFERENCE DOCUMENT: 2020 BUILDING CODE OF NEW YORK STATE (BCNYS), BASED ON THE 2018 INTERNATIONAL BUILDING CODE.

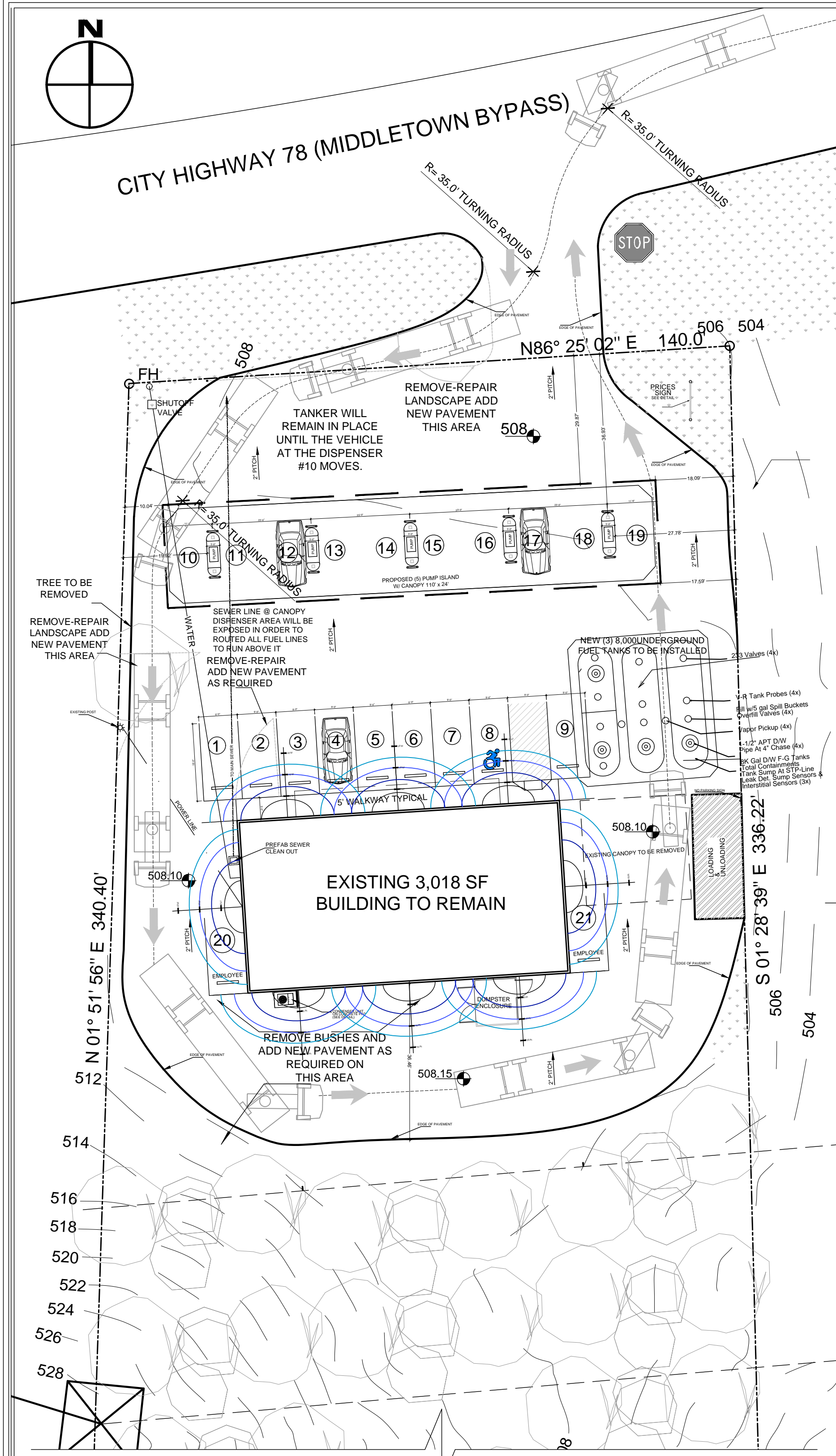
SITE COORDINATES: 41°30'49.9"N 74°07'47.6"W
 SITE SOIL CLASSIFICATION: SITE CLASS "C" – VERY DENSE SOIL AND SOFT ROCK.
 RISK CATEGORY: II (TYPICAL FOR GASOLINE SERVICE STATIONS).
 DESIGN EARTHQUAKE PARAMETERS:

S_S= 0.280 g
 S₁= 0.072 g
 S_{MS}= 0.336 g
 S_{M1}= 0.123 g
 S_{D5}= 0.224 g
 S_{D1}= 0.082 g

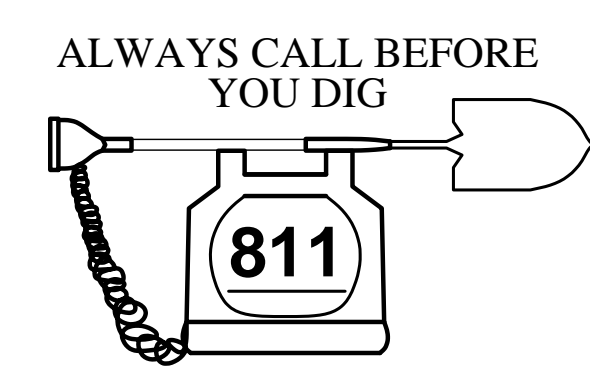
VALUES BASED ON USGS SEISMIC DESIGN MAPS, 2018 IBC, AS INCORPORATED INTO THE 2020 BCNYS.

2020 N.Y.S. ENERGY CONSERVATION CODE ORANGE COUNTY

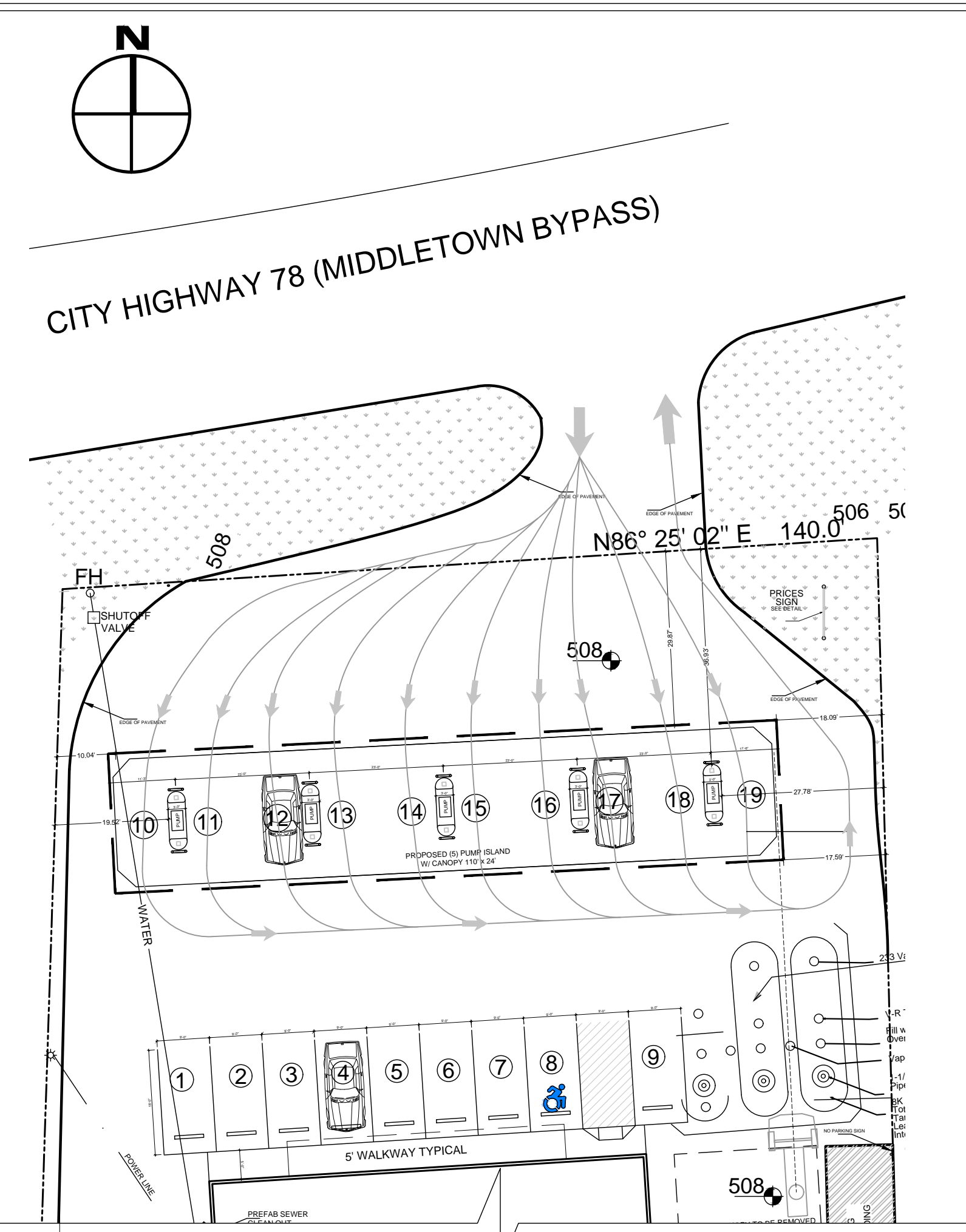
DESIGN DATA	5750'	Winter Design Interior Temp. 72"	WHERE THE WINTER DESIGN IS BELOW 60° F EVERY DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A MIN. ROOM TEMPERATURE OF 68° AT 3 FT. ABOVE THE FLOOR.
DEGREE DAYS: HEATING DESIGN TEMP.	0° OUTSIDE; 72° F INDOOR		
CODE DESIGN APPROACH:	TABLE N112.1.2	VALUES PROVIDED	CALLING: VALUES REQUIRED BY CODE AND OTHER OPENINGS IN EXTERIOR WALLS



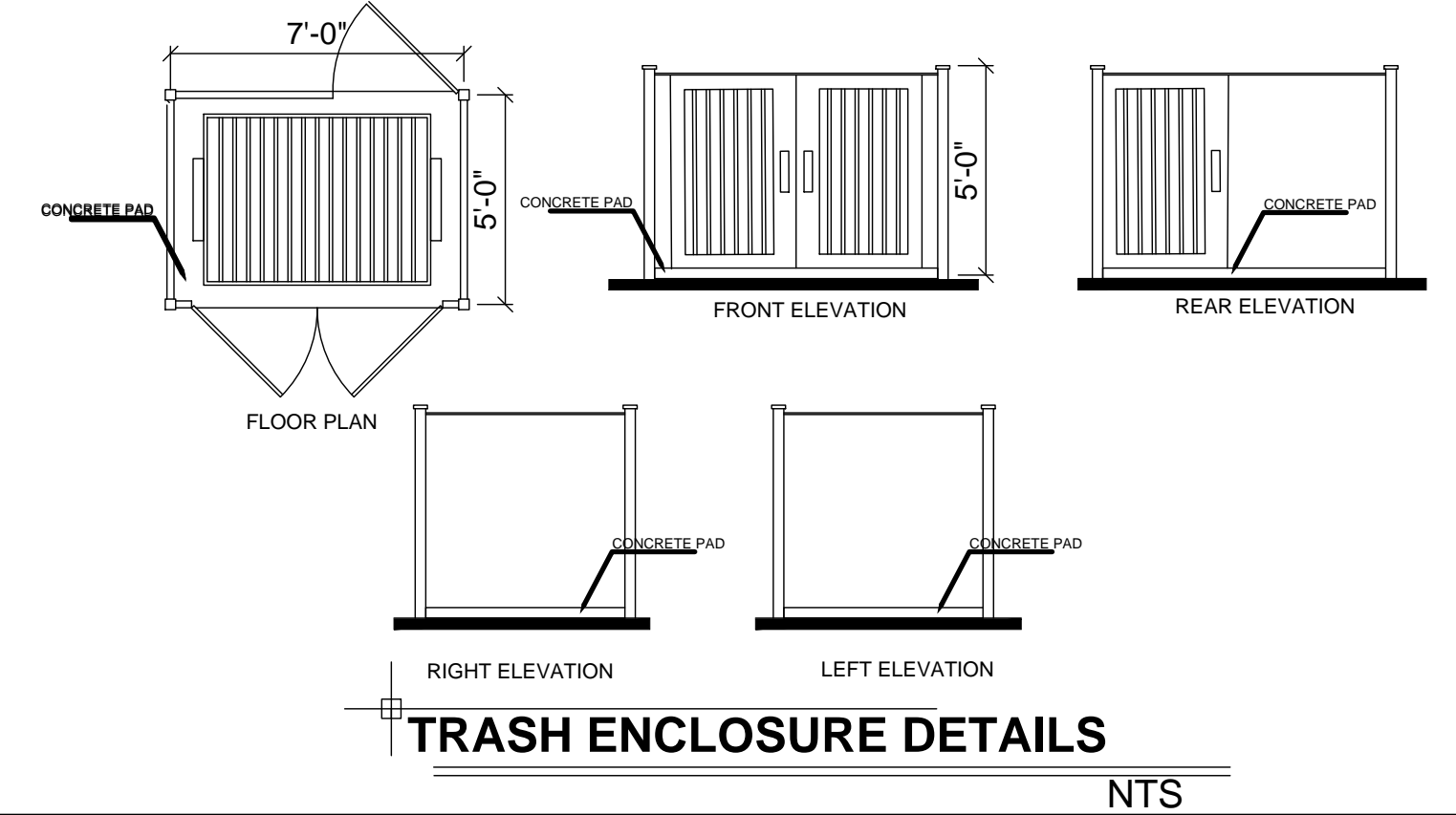
PROPOSED TRUCK TRAJECTORY
SCALE: 1" = 20'



ALWAYS CALL BEFORE YOU DIG
NYS CODE RULE 753 DIG SAFELY NEW YORK



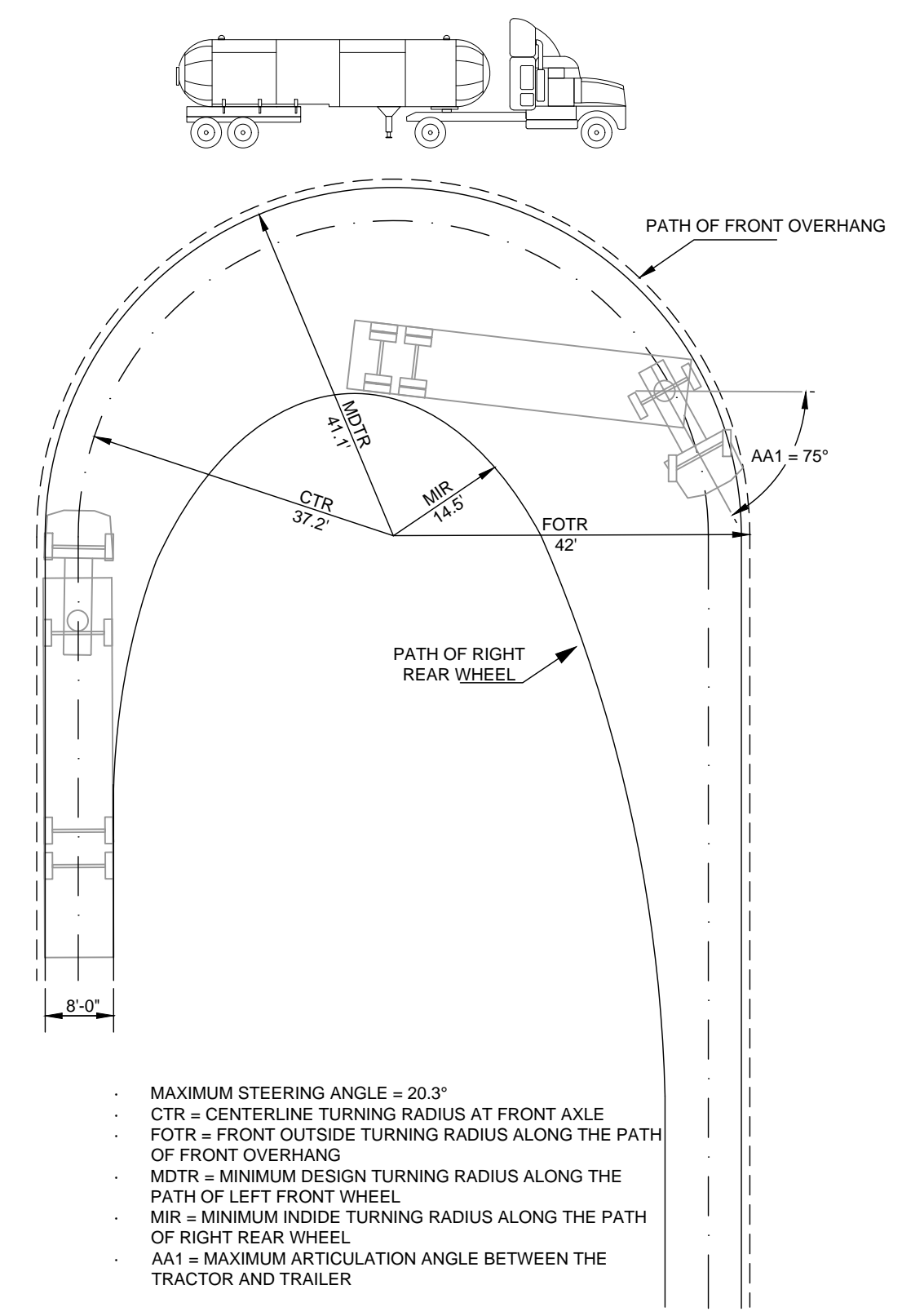
PROPOSED VEHICLES TRAJECTORY
SCALE: 1" = 20'



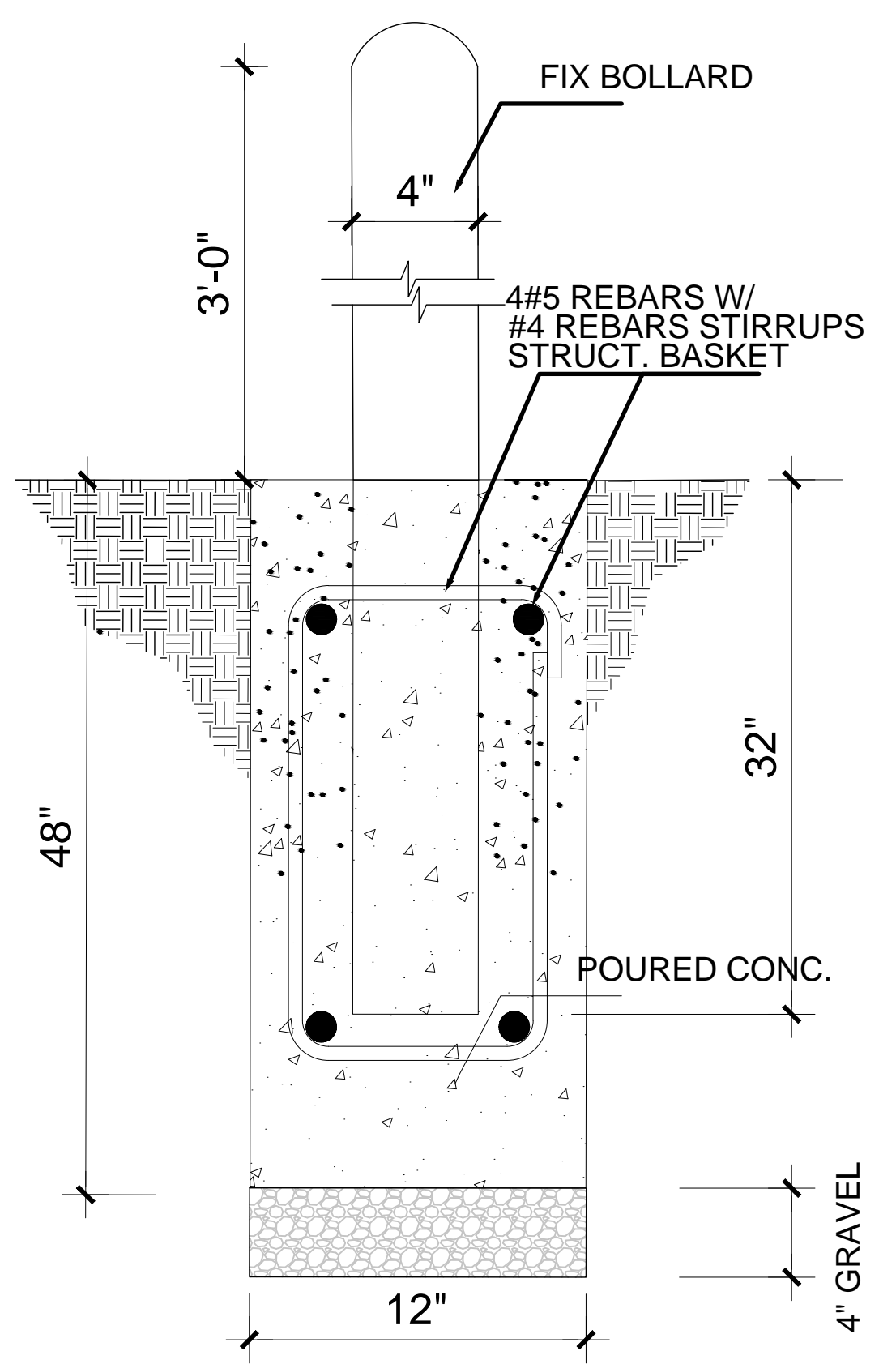
TRASH ENCLOSURE DETAILS
NTS

ZONING CHART
ALL DIMENSIONS AND DESIGNATION OF THESE DRAWINGS TAKEN FROM A SURVEY OF PROPERTY BY LANGAN SURVEYING
PROJECT:
A PROPOSED AUTOMOBILE FUEL STATION & CONVENIENCE STORE
By Anthony Sottile, P.E. 21289 HIGGS DR., PORT CHARLOTTE FL. 33952
SURVEY BY: LANGAN SURVEYING
ONE NORTH BRADWAY SUITE 910
WHITE PLAINS NY 10601
www.langan.com
OWNER/APPLICANT: SOUTH DRURY LN, LLC
TAX MAP REF.:
BLOCK: No. 1
LOT No. 80.1 & 80.2
DISTRICT ZONE: IB (Interchange Business)
BUILDING CONSTRUCTION TYPE 5B

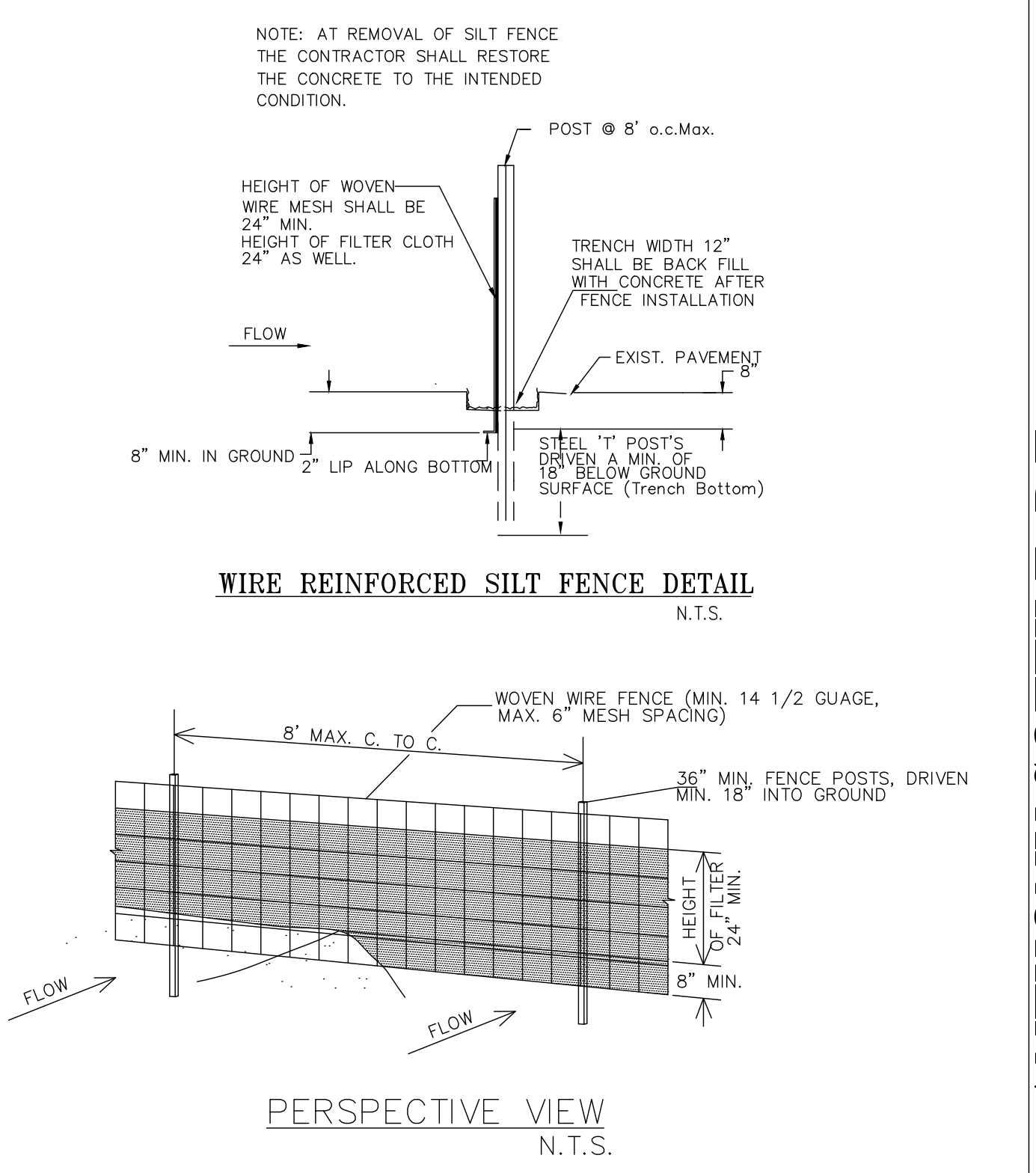
CODE REFERENCE	BULK REGULATIONS	REQUIRED	PROPOSED	COMPLIANCE
SCHEDULE B	MIN. YARD SET BACKS	As Per Planning Board	Convenience Store With Gasoline Dispensers	YES
SCHEDULE B	MIN. LOT AREA	40,000'	1.44 AC	YES
SCHEDULE B	MIN. LOT WIDTH	150'	720'	YES
SCHEDULE B	MIN. LOT WIDTH	150'	180'	YES
Sect. 185-18	MIN. FRONT YARD (State Road)	60'	25'	NO(Variance Approved)
SCHEDULE B	MIN. REAR YARD	60'	54'	NO(Variance Approved)
SCHEDULE B	MIN. SIDE YARD (ONE SIDE)	30'	33'	NO(Variance Approved)
SCHEDULE B	MIN. SIDE YARD (BOTH SIDES)	80'	N/A	
SCHEDULE B	MAX. LOT BUILDING COVERAGE	40%	4%	YES
SCHEDULE B	MAX. BUILDING HEIGHT	40'	< 40'	YES
SCHEDULE B	MAX. LOT SURFACE COVERAGE	80%	63%	YES
sect. 185-13	PARKING SPACES	15	19	YES



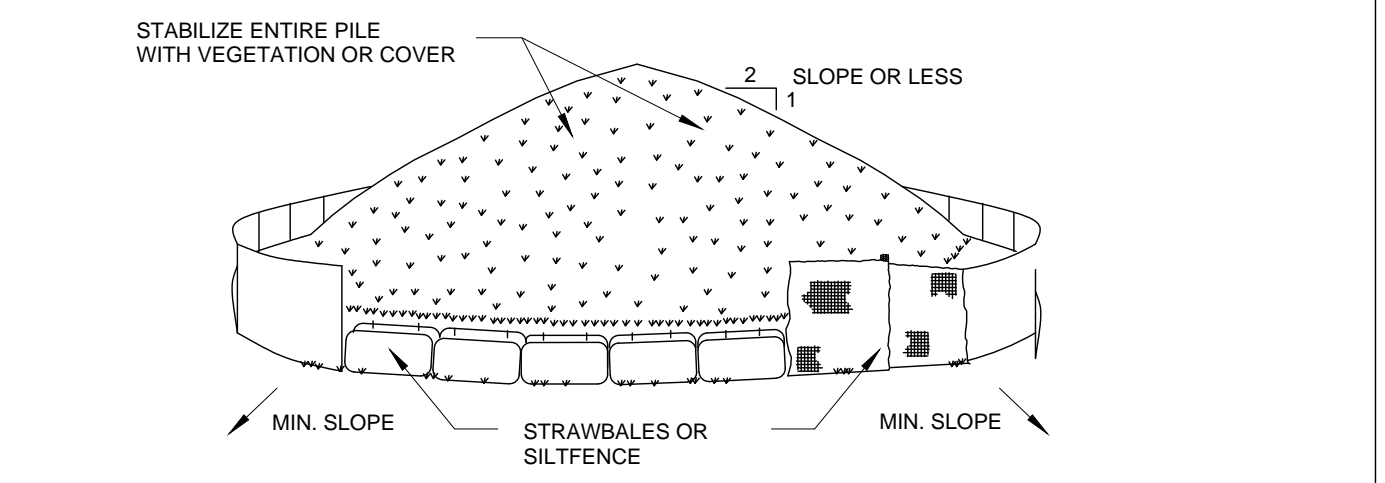
TRUCK TURN DETAIL
TRUCK TURN AS PER AASHTO WB-47
(For truck from 45' to 53')
NTS



BOLLARD DETAILS
NTS



WIRE REINFORCED SILT FENCE DETAIL
N.T.S.

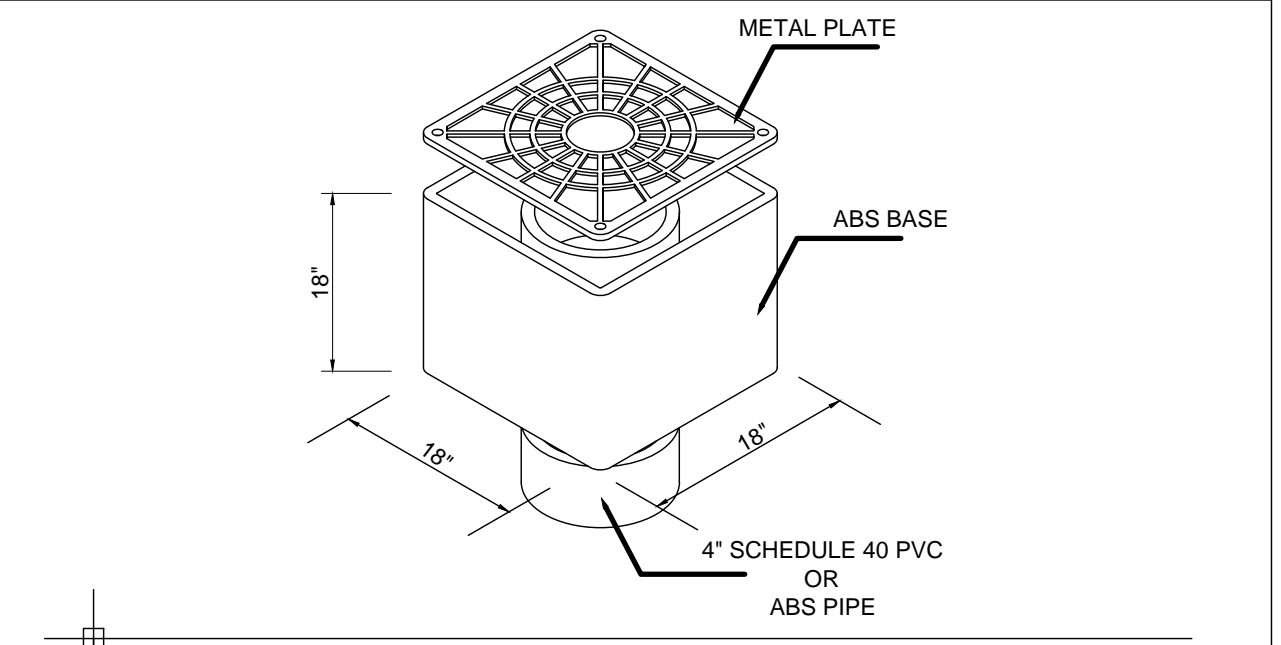


PERSPECTIVE VIEW
N.T.S.

- INSTALLATION NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

SOIL STOCKPILING DETAIL
N.T.S.

- EROSION CONTROL NOTES:**
- 1) THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL EROSION CONTROL AS SHOWN ON THIS PLAN PRIOR TO THE COMMENCEMENT OF ANY WORK.
 - 2) THE CONTRACTOR IS RESPONSIBLE TO INSTALL AND MAINTAIN ALL NECESSARY EROSION CONTROL IN ACCORDANCE WITH THIS PLAN AND THE GOSHENED BEST MANAGEMENT PRACTICES GUIDELINES.
 - 3) THE CONTRACTOR SHALL PROVIDE ADDITIONAL SEDIMENT AND EROSION CONTROL DEVICES IF THE CONTROLS ARE BEING BREACHED IN ANY WAY.
 - 4) ALL EROSION CONTROL TO REMAIN IN PLACE UNTILL CONSTRUCTION IS COMPLETE AND VEGETATION IS FULLY ESTABLISHED TO THE SATISFACTION OF THE ENGINEER.
 - 5) AFTER FINAL GRADES ARE ACHIEVED, THE SITE OR PORTION OF THE SITE SHALL BE TOPSOILED, SEEDED AND MULCHED WITH THE APPROPRIATE SEED MIX. TREES TO REMAIN SHALL BE RETAINED AND PROTECTED.
 - 6) ANY AREAS TO BE TEMPORARILY DISTURBED OR STOCKPILED TOPSOIL TO BE LEFT ON SITE SHALL BE TEMPORARILY SEEDED AND MULCHED WITHIN 7 DAYS.
 - 7) ALL TOPSOIL THAT WILL NOT BE USED FOR THE SITE SHALL BE REMOVED.
 - 8) THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL FOR ADJACENT PROPERTY OWNERS AS NECESSARY.
 - 9) THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP ALL ROADWAYS, CULVERTS, ETC. FREE FROM STONE, SOIL SAND AND ANY CONSTRUCTION DEBRIS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FOLLOW THE GUIDELINES SET FORTH IN THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL LATEST EDITION.



PREFAB SEWER CLEANOUT
NTS

ANTHONY SOTTILE, P.E.
CONSULTING ENGINEER
DESIGN, PLANNING & STRUCTURAL ENGINEERING
21289 HIGGS DR. PORT CHARLOTTE FL. 33952
Project: REDFIN FORMER STOREGAS STATION, REMOVE & REPAIR TANKING AND RELOCATE EXISTING DISPENSERS
Project Address: 18 County Rd 78, Middletown, NY 10940, USA

ISSUES / REVISIONS	
Date	Title

DEWITT ACQUISITIONS
26 MILL PLAIN ROAD,
DANBURY, CT 06811

OWNER:	Chkd. By: R/M	Dwg. By: F/M	Tax. Map #: 6-629-15.18
Date:	Scale:	As Noted	
Drawing Number:	OCT-15-2025		
SP-1			



ANTHONY SOTTILE, P.E.
 CONSULTING ENGINEER
 DESIGN - PLANNING & STRUCTURAL ENGINEERING
 21289 HIGGS DR. PORT CHARLOTTE FL 33952

Project: REOPEN FORMER STORE/GAS STATION, REMOVE & REPLACE TANKS, RELOCATE 2 EXISTING DISPENSERS, RELOCATE 2 EXISTING DISPENSERS
 Drawing Title: PROPOSED CANOPY LIGHTING PLAN

Project Address: 18 County Rd 78, Middletown, NY 10940, USA

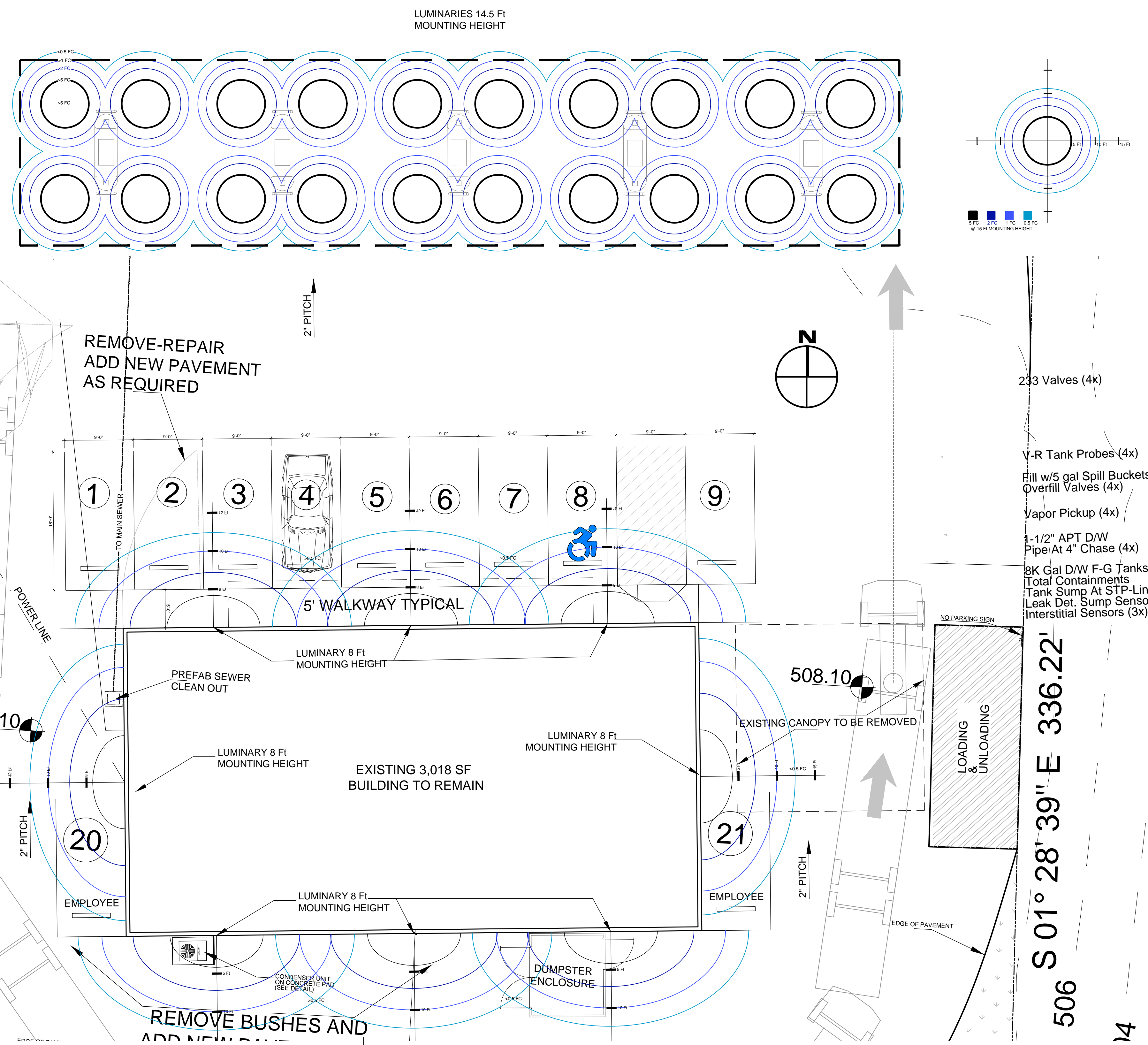
ISSUES / REVISIONS	
Date	Title

DEWITT ACQUISITIONS
 26 MILL PLAIN ROAD,
 DANBURY, CT 06811

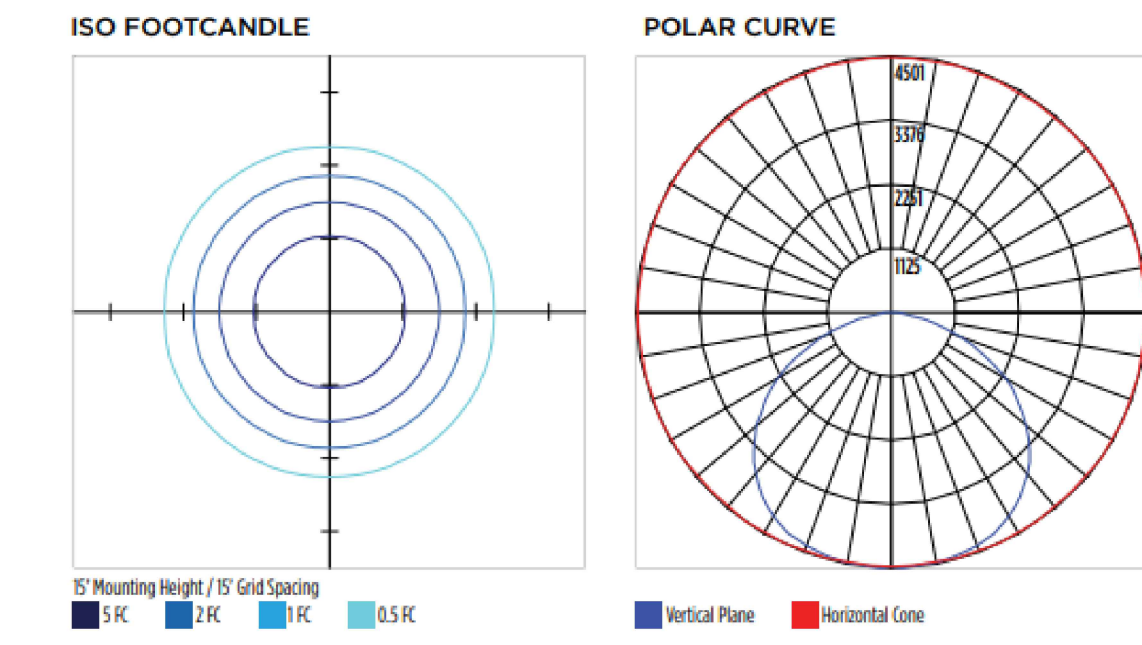
OWNER:
 Chd. By: RM
 Dwg. By: FM
 Tax Map # 6-629-15.18

Scale: As Noted
 Date: OCT-15-2025

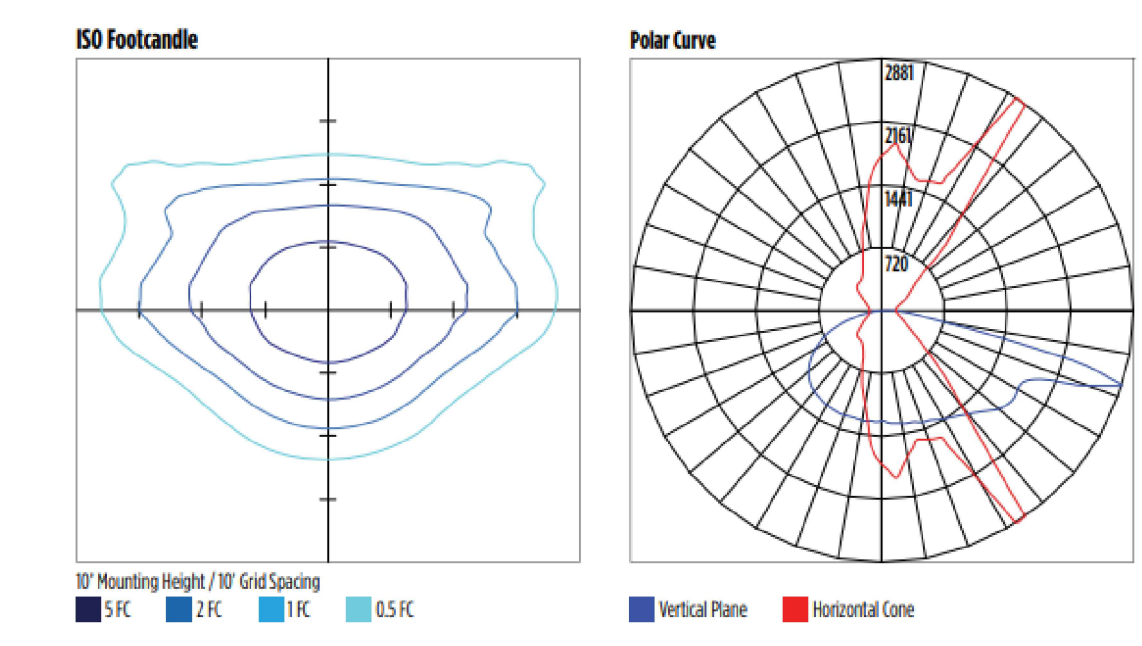
Drawing Number: **SP-2**



MODEL: LSI LEGACY™
 MOUNTING TYPE: CANOPY \ (AREA LIGHTING)
 LUMEN OUTPUT: 9,379 LUMENS
 COLOR TEMPERATURE (CCT): 3000K
 CRI: 80+
 INPUT VOLTAGE: 120-277V AND 347-480V
 EFFICACY: UP TO 110 LUMW
 OPTICAL DISTRIBUTIONS: SYMMETRIC / DOWN LIGHT
 CERTIFICATIONS: UL LISTED, IP66, ROHS, DLC PREMIUM, BUY AMERICAN ACT COMPLIANT
 RATED LIFE: 60,000 - 100,000 HOURS
 WARRANTY: 5 YEARS



MODEL: LSI COMMERCIAL WALL
 MOUNTING TYPE: WALL-MOUNTED (AREA LIGHTING)
 LUMEN OUTPUT: 5,930
 COLOR TEMPERATURE (CCT): 4000K
 CRI: 80+
 INPUT VOLTAGE: 120-277V AND 347-480V
 EFFICACY: UP TO 126 LUMW
 OPTICAL DISTRIBUTIONS: SYMMETRIC / FORWARD
 CERTIFICATIONS: UL LISTED, IP66, ROHS, DLC PREMIUM, BUY AMERICAN ACT COMPLIANT
 RATED LIFE: 60,000 - 100,000 HOURS
 WARRANTY: 5 YEARS



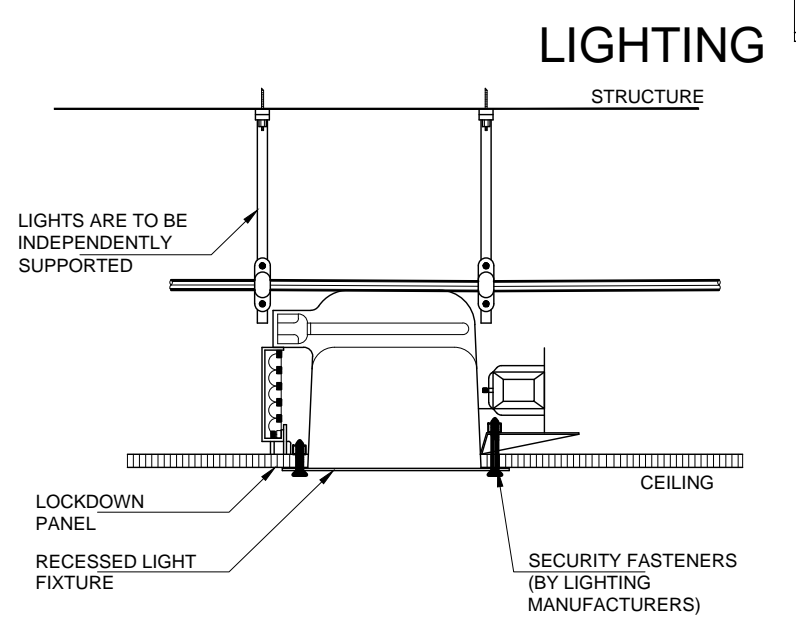
LUMINARY SCHEDULE								
SYMBOL	QTY	COOR TEMP	TYPE	LENS	BRAND	LUMENS	WATTS	DIMENSIONS
	20	3000K	LED	360°	LSI LED Legacy™ Scottsdale Canopy Lighting Fixture	9,379	85 W	22" x 22"
	8	3000K	LED	170°	LSI Medium Commercial Wall (SMW) LED Wall Light (zero uplight)	5,930	47 W	13.1" x 11.3"

PROPOSED CANOPY LIGHTING PLAN
 SCALE 1/8" = 1'-0"

GENERAL INSTALLATION STANDARDS

ALL ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE ELECTRICAL CODE AS PROVIDED IN CHAPTER 155 ELECTRICAL STANDARD CODE § 155-2.

ALL INSTALLATIONS OF ELECTRICAL WORK, ALL EXTENSIONS THERETO AND ALL ALTERATIONS THEREOF WITHIN THE CITY SHALL BE IN CONFORMITY WITH THE PROVISIONS OF CHAPTER 155 ELECTRICAL STANDARD CODE AND OF ANY OTHER LAW OR OF ANY ORDINANCE, LOCAL LAW OR BUILDING CODE OF THE TOWN OF NEWBURGH AND SHALL ALSO BE IN CONFORMITY WITH APPROVED STANDARDS FOR SAFETY TO LIFE AND PROPERTY. IN EVERY CASE WHERE NO SPECIFIC TYPE OR CLASS OF MATERIAL OR NO SPECIFIC STANDARDS ARE PRESCRIBED BY LAW, CONFORMITY WITH THE REGULATIONS AND REQUIREMENTS CONTAINED IN THE NATIONAL ELECTRICAL CODE AS APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE SHALL BE PRIMA FACIE EVIDENCE OF CONFORMITY WITH APPROVED STANDARDS FOR SAFETY TO LIFE AND PROPERTY.



LED FIXTURE DETAIL
 NOT TO SCALE



ANTHONY SOTTILE, P.E.
 CONSULTING ENGINEER
 DESIGN, PLANNING & STRUCTURAL ENGINEERING
 21289 HIGGS DR. PORT CHARLOTTE FL 33952

Drawing Title:
EXISTING FLOOR PLAN AND ELEVATIONS

Project:
 REOPEN FORMER STORAGAS STATION, REMOVE & REPLACE TANKS/CHIMNEYS, RELOCATE PUMPS & RELOCATE EXISTING DISBURSER
 Project Address:
 18 County Rd 78, Middletown, NY 10940, USA

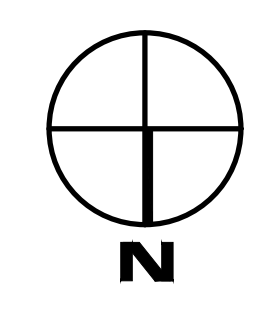
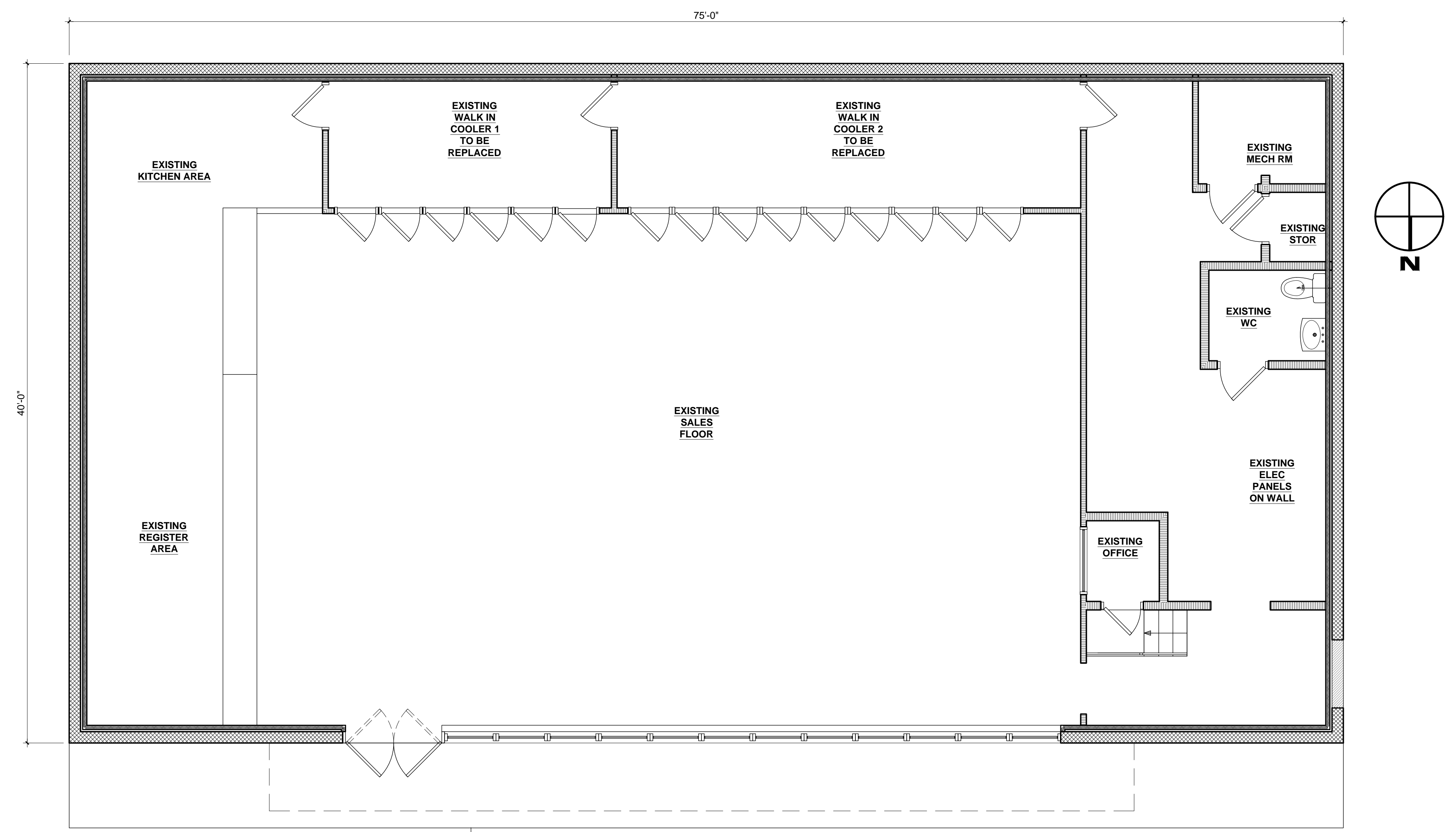
ISSUES / REVISIONS	
Date	Title

DEWITT ACQUISITIONS
 26 MILL PLAIN ROAD,
 DANBURY, CT 06811

OWNER:
 Chkd. By: RM
 Dwg. By: FJM
 Tax Map # 6-629-15.18

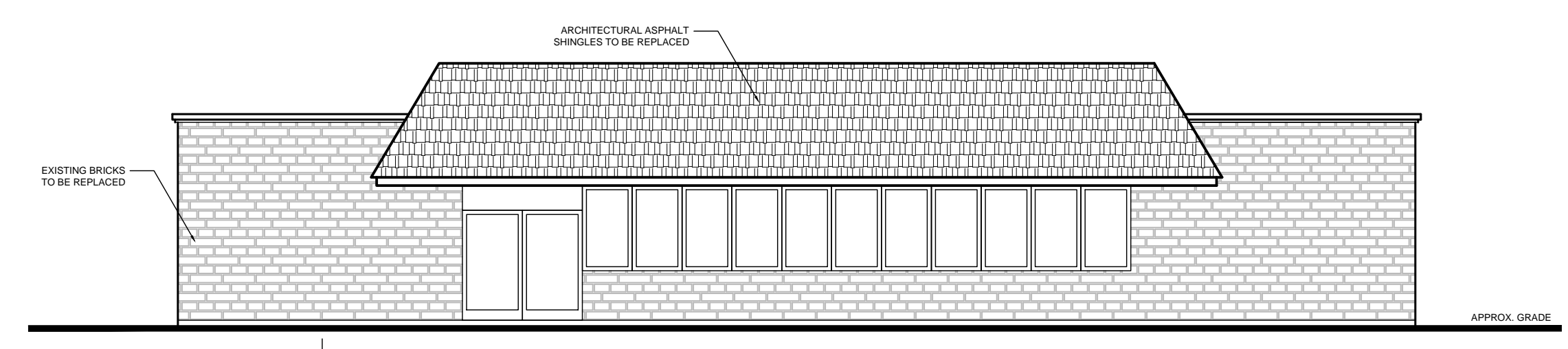
Scale: As Noted
 Date: OCT-15-2025

Drawing Number:
A-1



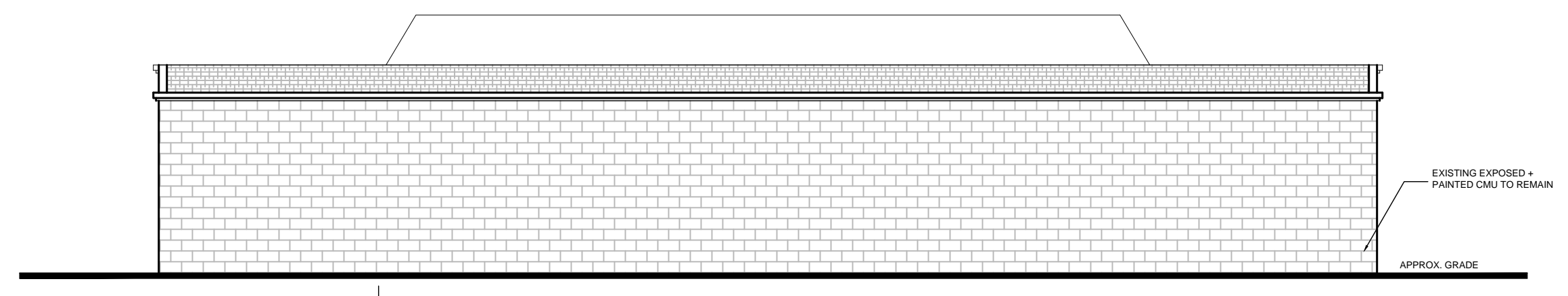
EXISTING FLOOR PLAN

SCALE 1/4" = 1'-0"



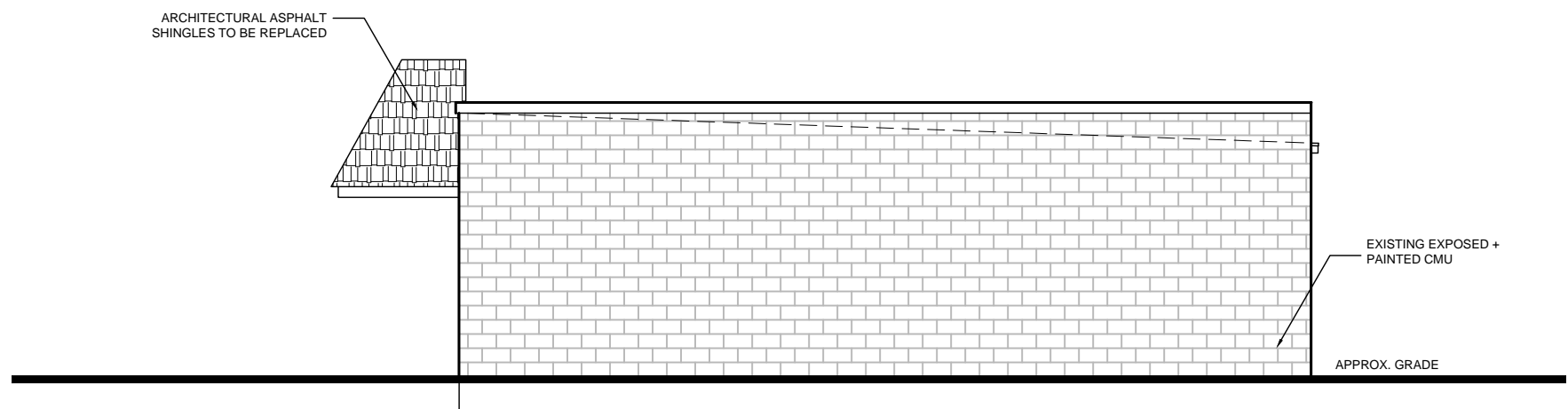
EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



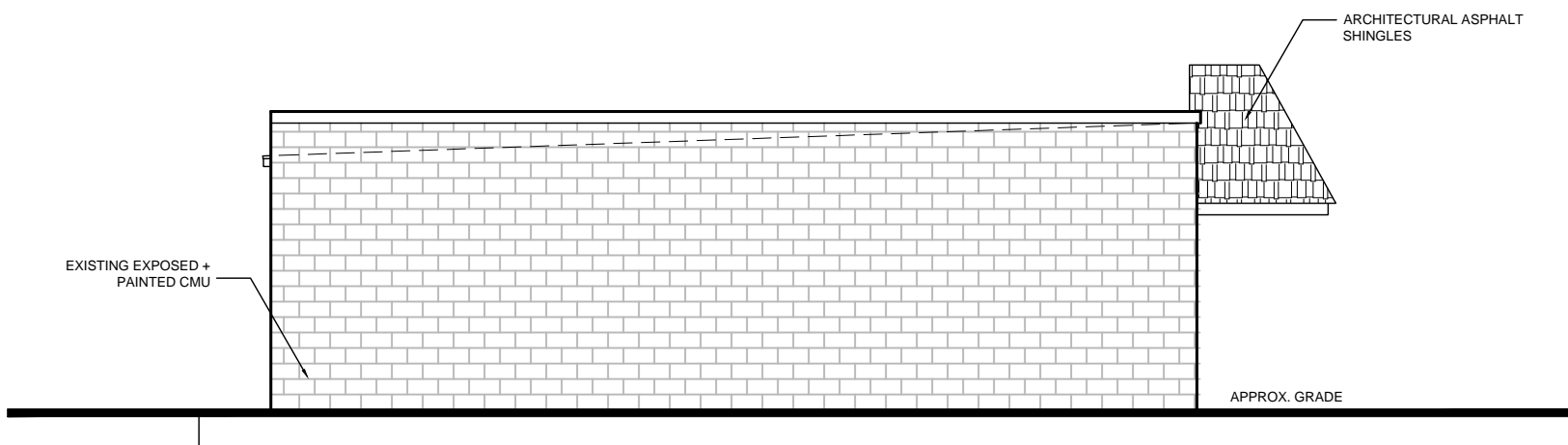
EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"



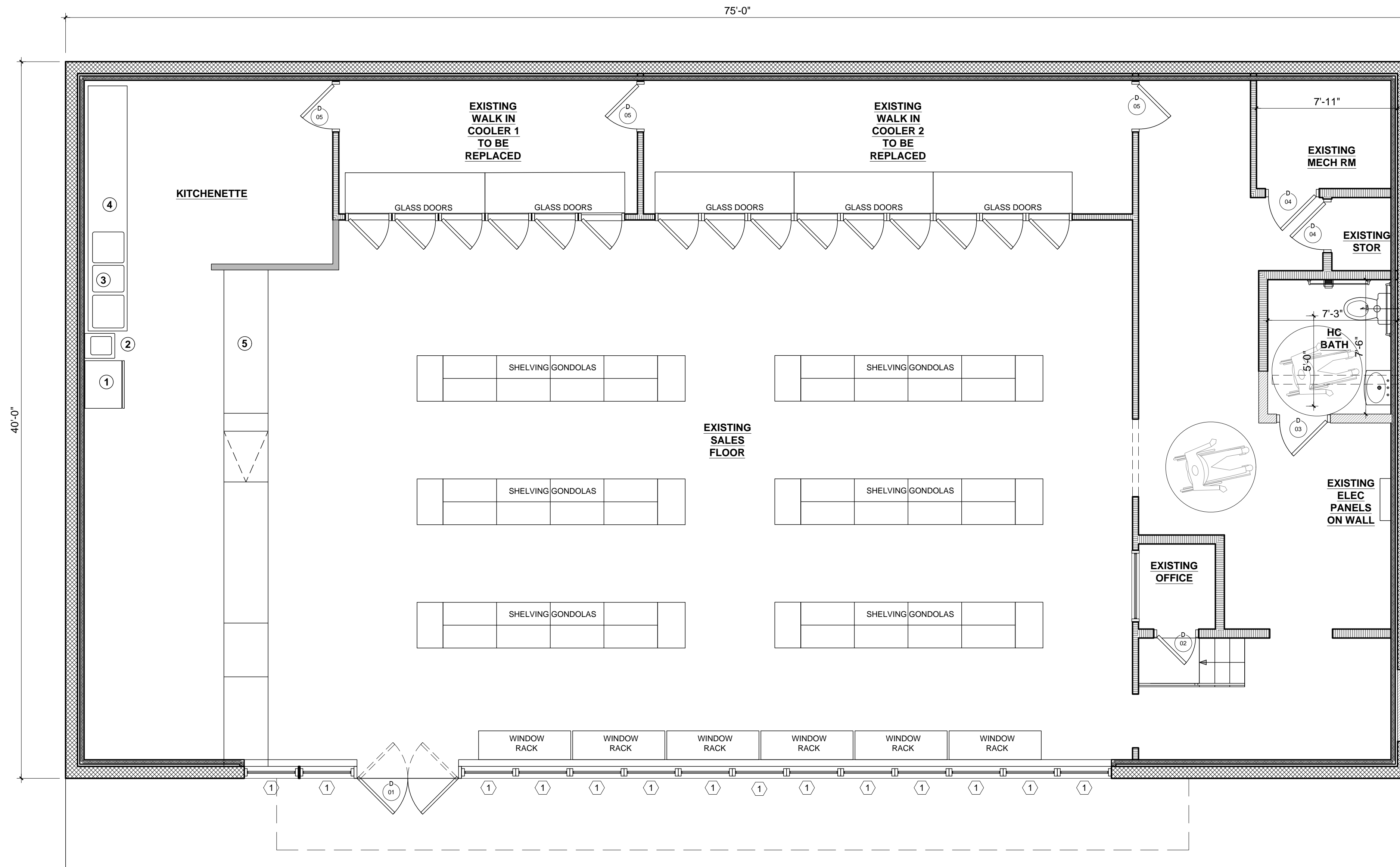
EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN

SCALE 1/4" = 1'-0"

WINDOW SCHEDULE						
MARK	DESCRIPTION	SIZE		SIZE (R.O.)		MARK
		W	H	W	H	
1	FIXED GLASS (Cat II Safety Glass)	37"	54"	38"	55"	

DOOR SCHEDULE						
MARK	DESCRIPTION	SIZE			MATERIAL	
		W	H	T	DOOR	FRAME
01	STORE FRONT DOOR	(2) 3'-0"	6'-8"	1 3/4"	GLASS	METAL
02	DOOR	2'-8"	6'-8"	1 3/4"	METAL	METAL
03	DOOR	2'-8"	6'-8"	1 3/8"	WOOD	WOOD
04	DOOR	2'-8"	6'-8"	1 3/8"	WOOD	WOOD
05	DOOR	2'-8"	6'-8"	1 3/8"	WOOD	WOOD

CONSTRUCTION NOTES AS APPLICABLE

1. ALL WORK AND MATERIAL TO CONFORM WITH THE TOWN OF NEWBURGH SPECIFICATIONS.
2. CONNECT WATER SYSTEM TO WELL.
3. PROVIDE DESIGNED RETAINING WALLS ON ALL SLOPES EXCEEDING ONE (1) FOOT VERTICAL ON TWO (2) FEET HORIZONTAL.
4. UNDERGROUND ELECTRIC SHALL BE ENCASED IN RIGID CASING A MIN. OF SIX FEET (2.4-4) ACROSS ALL WATER MAINS.
5. THE BUILDER SHALL FURNISH AND INSTALL 6" PERFORATED PIPE ENCASED IN CRUSHED STONE IN BACK OF CURB WHEREVER DIRECTED BY ENGINEER.
6. THE NYS DOT SHALL REGULATE AND ORDER WHAT OBSTRUCTIONS MUST BE REMOVED BY BUILDER FOR SIGHT DISTANCE.
7. THE APPLICANT/CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH ALL RULES AND REGULATIONS OF THE NYS DEPARTMENT OF HEALTH.
8. THE CONTRACTOR SHALL REQUIRE TO BACKFILL UTILITY TRENCHES IN THE PUBLIC RIGHT OF WAY WITH 50 PSI CONTROLLED DENSITY BACKFILL (K-CRETE).
9. THE APPLICANT/CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL/DISPOSAL OF EXISTING SUBSURFACE STRUCTURE (I.E. OIL TANKS, SEPTIC FIELDS, ETC.). THEIR CONTENTS AND REMEDIAL MEASURES THAT MAY BE REQUIRED.
10. IT SHALL BE THE RESPONSIBILITY OF APPLICANT/CONTRACTOR TO CALL IN CODE 53. NO WORK SHALL BE COMMENCE UNTIL A CODE 53 FIELD MARK OUT HAS BEEN PERFORMED.

THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. DISCONNECT EXISTING UTILITIES WHERE APPROPRIATE.

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION TESTING AND SHALL SUBMIT SUCH REPORTS AND VERIFICATION TO ENGINEER OF RECORD.

DISPOSED OFF SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES & LAWS.

TO ENSURE THE STRUCTURAL STABILITY OF ALL BEAMS COLUMNS, FOUNDATIONS, WALLS, SIDEWALKS TANKS, ETC. TO REMAIN.

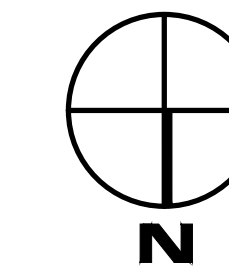
16-LIGHTING FIXTURES SHALL BE DIRECTED SO AS NOT TO SHINE ON NEIGHBORING PROPERTIES.

CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, DEMOLITION OR EXCAVATION.

TRAFFIC AND OPERATION WITHIN THE TANK-UTILITY AREA.

LEGEND:

- EXISTING EXTERIOR WALL TO REMAIN UNDISTURBED
- NEW INTERIOR WALL WITH 1/2" SHEETROCK EACH SIDE
- EXISTING INTERIOR WALL TO BE DEMOLISHED
- BATTERY PACK W/3 - 25 WATTS LAMPS / WITH EXIT SIGNS REQUIRED AT ALL EXITS.
- EMERGENCY LIGHTNING
- FIRE ALARM STROBE LIGHT/HORN



ANTHONY SOTTILE, P.E.
 CONSULTING ENGINEER
 DESIGN, PLANNING & STRUCTURAL ENGINEERING
 21289 HIGGS DR. PORT CHARLOTTE FL 33952
 Project: REOPEN FORMER STORE/GAS STATION, REMOVE & REPLACE TANKING AND INSTALL NEW PUMPS & RELOCATE EXISTING DISPENSERS
 Project Address: 18 County Rd 78, Middletown, NY 10940, USA

Drawing Title:
PROPOSED FLOOR PLAN AND ELEVATIONS

ISSUES / REVISIONS	
Date	Title

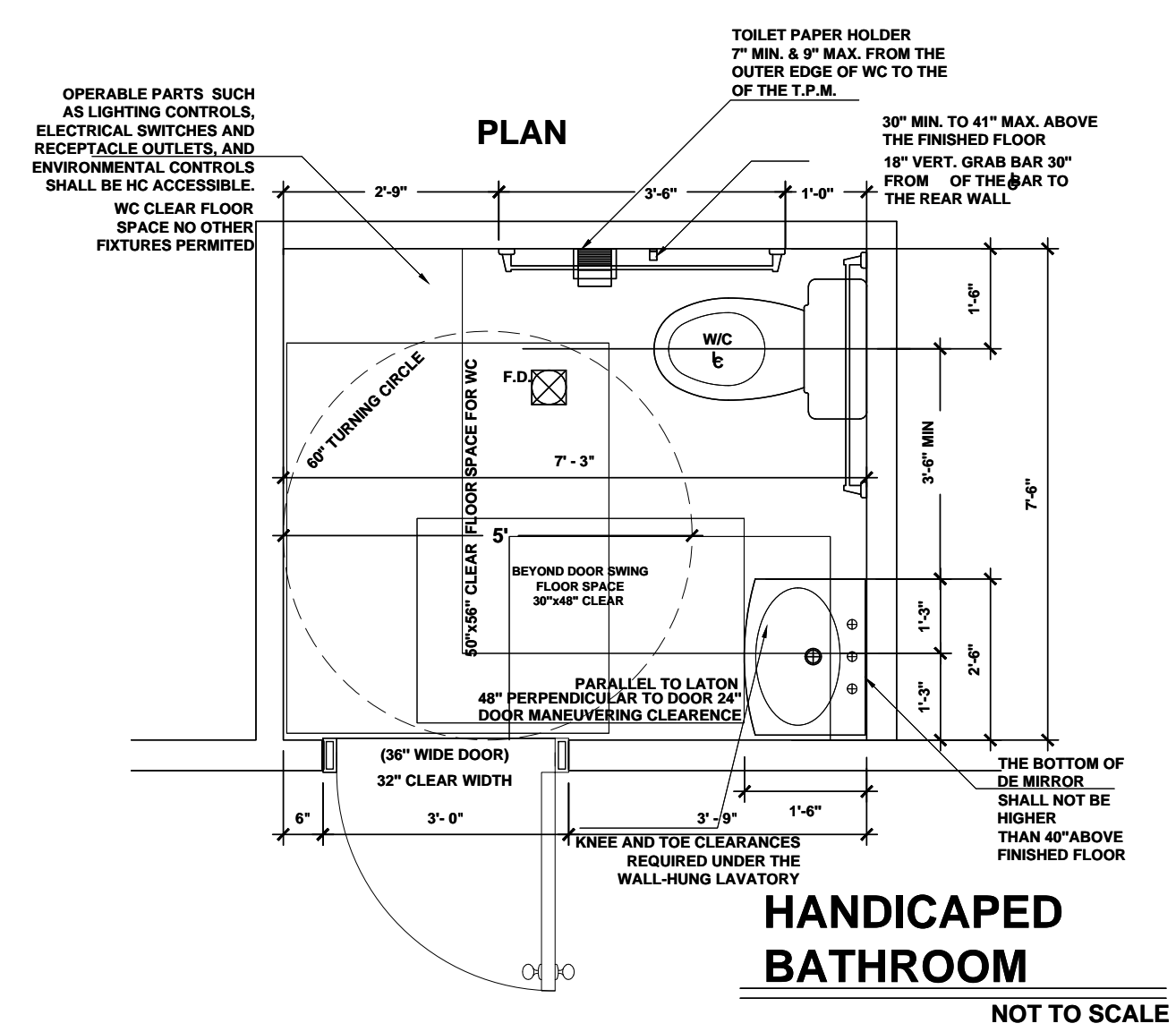
DEWITT ACQUISITIONS
 26 MILL PLAIN ROAD,
 DANBURY, CT 06811

OWNER:

Chd. By: RM	6-629-15.18
Dwg. By: FM	
Tax. Map #	

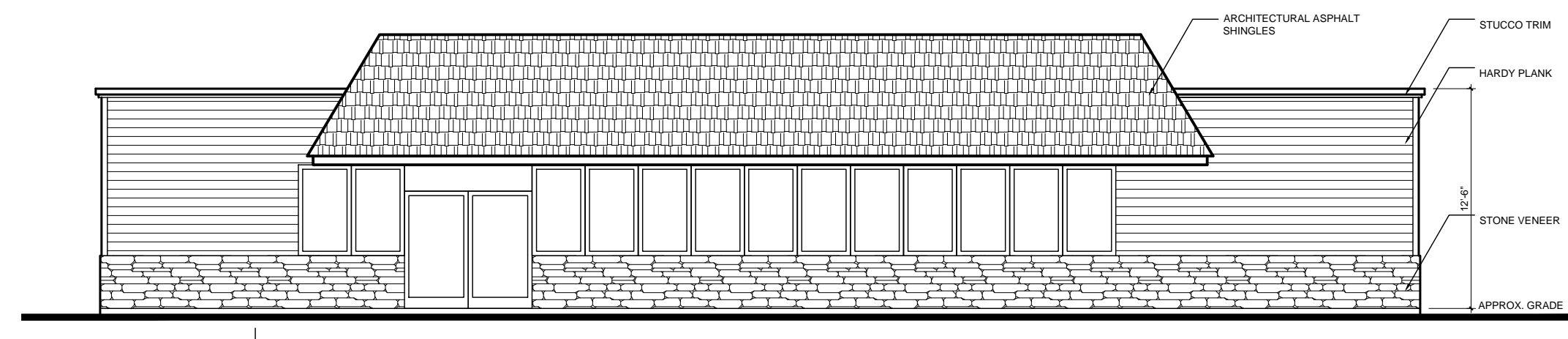
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 Date: OCT-15-2025

Drawing Number: **A-2**



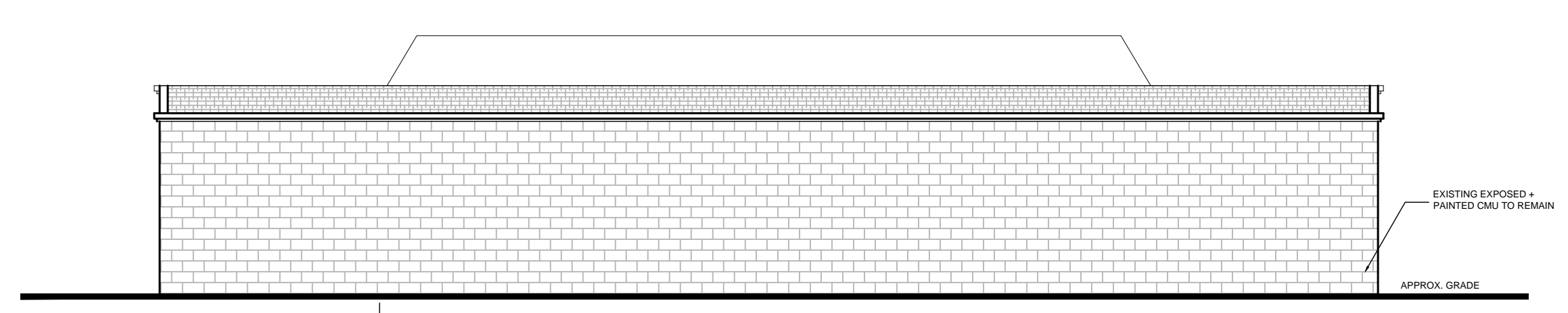
HANDICAPPED BATHROOM

NOT TO SCALE



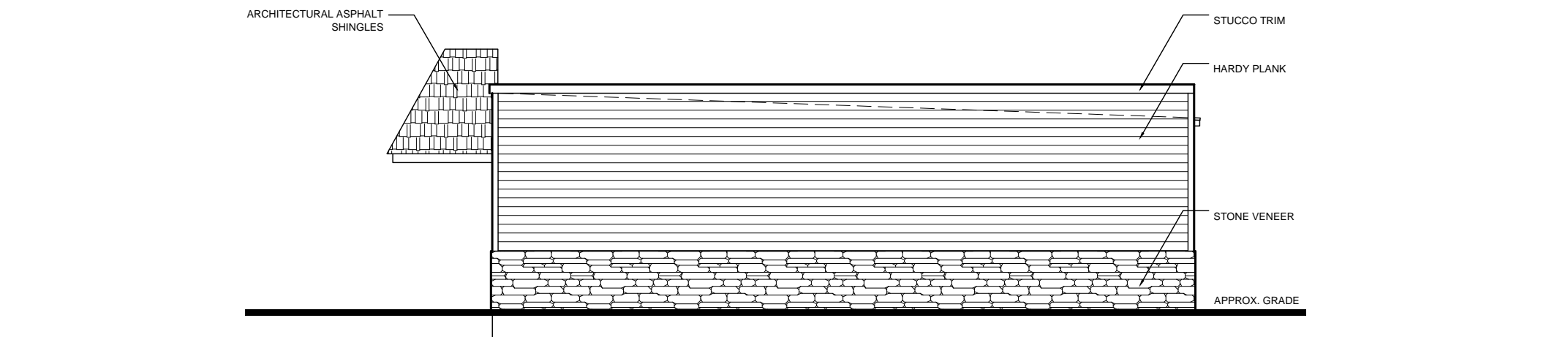
PROPOSED FRONT ELEVATION

SCALE: 1/8" = 1'-0"



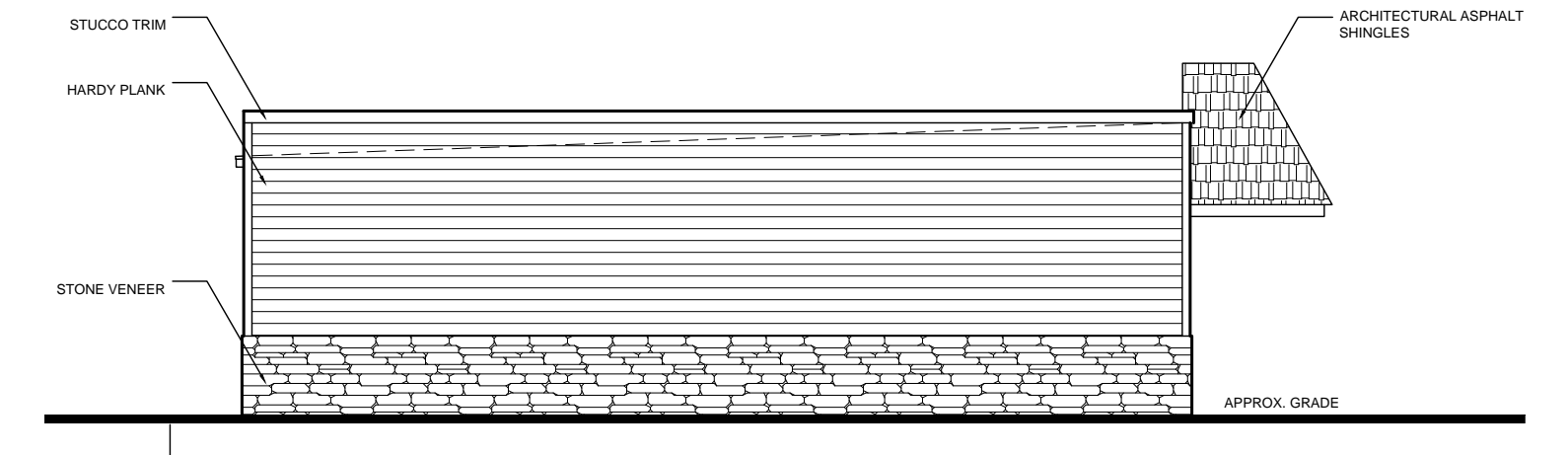
PROPOSED REAR ELEVATION

SCALE: 1/8" = 1'-0"



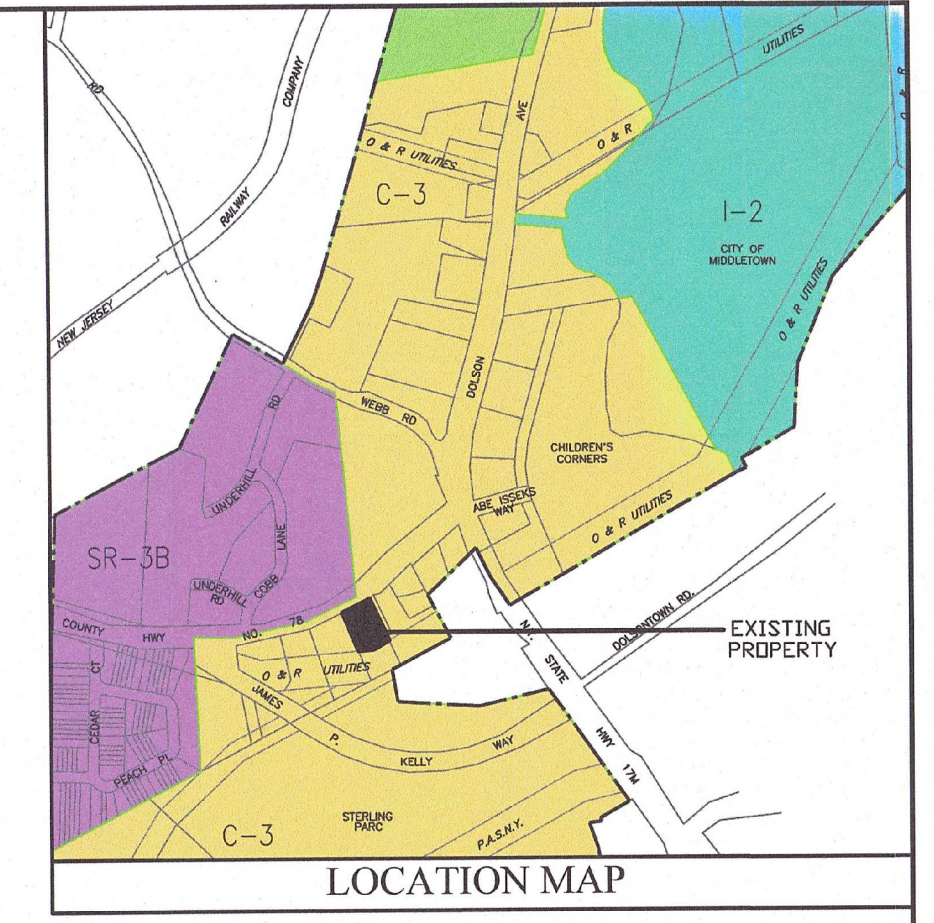
PROPOSED RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



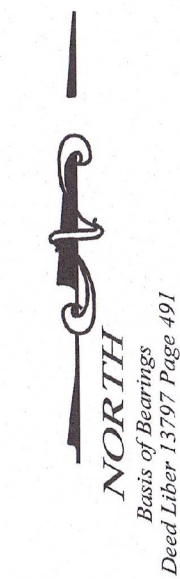
ZONING INFORMATION:
 A. ZONING DISTRICT: C-3 GENERAL BUSINESS DISTRICT
 B. PROPOSED USE: RETAIL CONVENIENCE MARKET
 C. APPROVALS REQUIRED: PERMITTED BY RIGHT AND SITE PLAN APPROVAL FROM CITY OF MIDDLETOWN PLANNING BOARD

	MINIMUM REQUIRED	EXISTING	PROPOSED
LOT AREA	7,500 S.F.	50,678 S.F. ±	50,678 S.F. ±
LOT WIDTH	75'	140' ±	140' ±
FRONT YARD	NONE	102' ±	102' ±
FRONT YARD WIDTH	NONE	146' ±	146' ±
SIDE YARD (ONE/BOTH)	NONE	29' ±/69' ±	29' ±/69' ±
REAR YARD	NONE	26' ±	26' ±
MAXIMUM BUILDING HEIGHT	6 OR 90FT	1	1
STORIES			

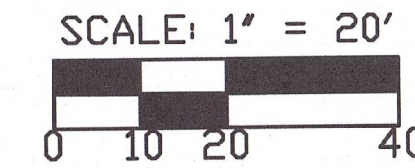
OWNER'S CONSENT NOTE
 I HEREBY AGREE, UPON REVIEW, THAT THIS MAP MEETS MY APPROVAL AND IS CONCURRENT WITH MY INTENT.

OWNER DATE
RECORD OWNER
 ANEL AND FEDELINA CHERY PYRAM AND
 137 APPLE LANE DR
 MIDDLETOWN, NY 10940

SURVEYOR'S NOTES:
 1. UNAUTHORIZED ALTERATION OF AN ITEM IN ANY WAY, OR ADDITION TO A SURVEY MAP FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
 2. ONLY BOUNDARY SURVEY MAPS BEARING THE SURVEYOR'S EMBOSSED SEAL AND SIGNATURE ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.
 3. THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCRoACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED.
 4. SURVEYED AS PER DEEDS, PRIOR SURVEY MAPS, FILED MAPS, PHYSICAL EVIDENCE AND EXISTING MONUMENTATION FOUND AT THE SITE.
 5. TOPOGRAPHIC DATA AS SHOWN WAS PROVIDED BY ENGINEER OF RECORD.
REFERENCES:
 1. TAX MAPS FOR THE CITY OF MIDDLETOWN, ORANGE COUNTY, NEW YORK, SECTION 54 BLOCK 1
 2. VARIOUS DEEDS OF RECORD - LIBER AND PAGE AS SHOWN

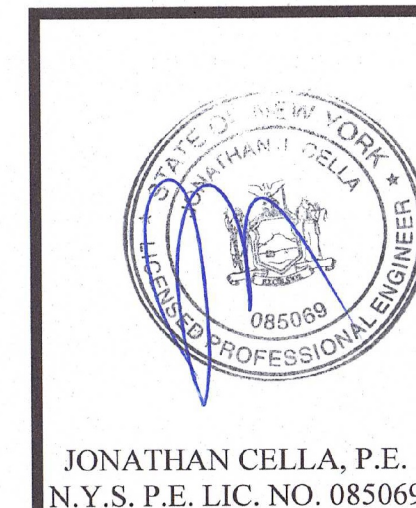


EXISTING SURVEY
 SCALE: 1" = 20'



LEGEND
 EXISTING PROPERTY LINE
 ADJOINING PROPERTY LINE
 EXISTING 2' CONTOUR
 EXISTING 10' CONTOUR
 EXISTING BUILDING

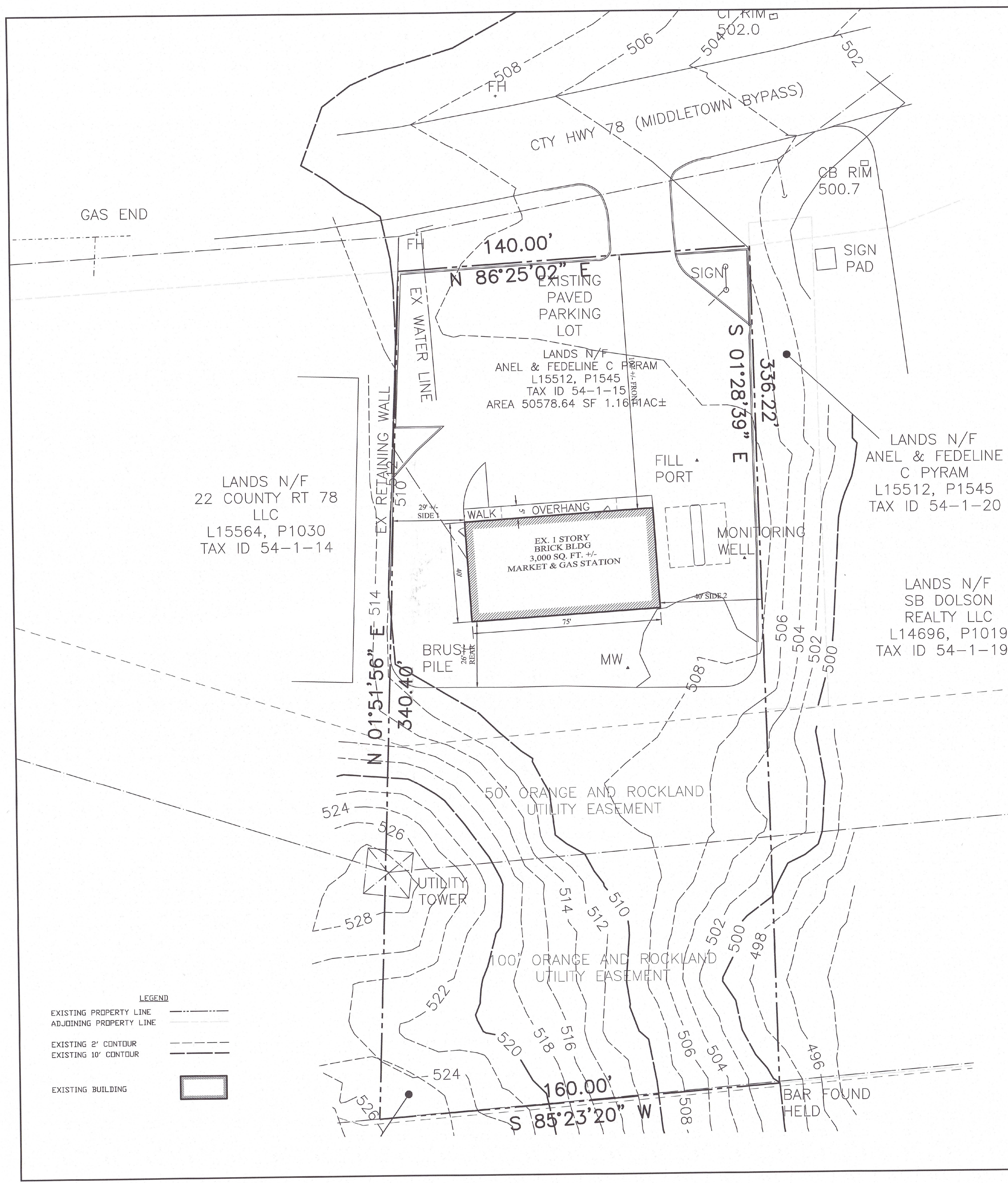
EXISTING SURVEY	
COMMERCIAL SITE PLAN	
PROPOSED STORE/MARKET & GAS STATION FOR: ANEL PYRAM 18 COUNTY HWY 78 (S/B/L: 54 - 1 - 15) CITY OF MIDDLETOWN ORANGE COUNTY, NEW YORK	
JONATHAN CELLA, P.E. 51 HUNT ROAD WALLKILL, NEW YORK 12589 (845) 741-0363 jcella@att.net	
DATE: 6/04/2024	DRAWN BY: JJC
SCALE: AS NOTED	SHEET NO.: 1 OF 5
REVISIONS: 1. 10/22/2024: FOR PLANNING BOARD SUBMISSION	



JONATHAN CELLA, P.E.
 N.Y.S. P.E. LIC. NO. 085069

Date: OCT-9-2025

Drawing Number: A-4



ZONING INFORMATION:
 A. ZONING DISTRICT: C-3 GENERAL BUSINESS DISTRICT
 B. PROPOSED USE: RETAIL CONVENIENCE MARKET
 C. APPROVALS REQUIRED: PERMITTED BY RIGHT AND SITE PLAN APPROVAL FROM CITY OF MIDDLETOWN PLANNING BOARD

LOT AREA	MINIMUM REQUIRED	EXISTING	PROPOSED
	7,500 S.F.	50,678 S.F. ±	50,678 S.F. ±
LOT WIDTH	75'	140'±	140'±
FRONT YARD	NONE	102'±	102'±
FRONT YARD WIDTH	NONE	146'±	146'±
SIDE YARD (ONE/BOTH)	NONE	29'±/69'±	29'±/69'±
REAR YARD	NONE	26'±	26'±
MAXIMUM BUILDING HEIGHT STORIES	6 OR 90FT	1	1

PROJECT NOTES

- THIS IS AN EXISTING SITE WITH AN EXISTING 3,000 SF BUILDING. THE EX. BUILDING AND SITE WAS FORMALLY A STORE AND GAS STATION WHICH HAS SAT VACANT FOR APPROX. 8 PLUS YEARS.
- THE CURRENT OWNER WISHES TO USE THIS PROPERTY IN THE SAME MANNER WITH THE SAME USE. THE CURRENT OWNER WOULD LIKE TO OPEN THE BUILDING WHICH IS TO BE A MARKET PRIOR TO UPDATING THE GAS PUMPS.
- BUILDING PLANS DETAILING ALL IMPROVEMENTS WILL BE PREPARED BY A NYS LICENSED DESIGN PROFESSIONAL AND SUBMITTED TO THE CITY OF MIDDLETOWN BUILDING DEPARTMENT. ALL IMPROVEMENTS WILL HAVE TO BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE BUILDING.
- NO NEW LANDSCAPING IS BEING PROPOSED AT THIS TIME.
- NO NEW SITE LIGHTING IS BEING PROPOSED AT THIS TIME.
- THERE WILL BE NEW PARKING STRIPING AND SPACES AS SHOWN ON THE PROPOSED SITE PLAN.

EXISTING GAS PUMP AREA NOTES:

- UNDERGROUND GAS TANKS, ISLAND, AND CANOPY WILL REMAIN UNTIL A FUTURE DATE. FURTHER INVESTIGATION WILL BE CONDUCTED BEFORE THE UPDATE AND OPERATION OF THE GAS PUMP STATION.
- ANY AND ALL LOCAL, STATE, OR ANY OTHER AGENCY REGULATIONS REQUIRED TO OPERATE THE FUTURE GAS PUMPS WILL BE SATISFIED BY THE OWNER PRIOR TO OPERATION.

ADA COMPLIANCE NOTES

- HANDICAPPED ACCESSIBILITY TO THE BUILDING FROM PARKING LOT WILL BE UPDATED TO MEET '2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.'
- INTERIOR IMPROVEMENTS TO THE BUILDING INCLUDING CONSTRUCTION OF A HANDICAPPED ACCESSIBLE BATHROOM ARE REQUIRED TO MEET '2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.'
- BUILDING PLANS DETAILING ALL IMPROVEMENTS WILL BE PREPARED BY A NYS LICENSED DESIGN PROFESSIONAL AND SUBMITTED TO THE CITY OF MIDDLETOWN BUILDING DEPARTMENT. ALL IMPROVEMENTS WILL HAVE TO BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE BUILDING.

EXISTING UTILITIES

- CURRENT UTILITY CONNECTIONS WILL REMAIN. IF ANY CONNECTIONS ARE REQUIRED TO BE UPDATED TO MEET CURRENT STANDARDS THE OWNER WILL COMPLY IF DEEMED A REQUIREMENT.

WETLAND AND FLOODPLAIN NOTES

- THERE ARE NO EXISTING STATE OR FEDERAL WETLANDS ON THE SITE AND/OR WITHIN 100' OF THE SUBJECT PROPERTY LINE.
- THE SITE DOES NOT LIE WITHIN ANY FEMA FLOODPLAINS.

PROPOSED HOURS OF OPERATION FOR STORE/MARKET

MONDAY TO FRIDAY	6AM TO 11PM
SATURDAY AND SUNDAY	6AM TO 11PM

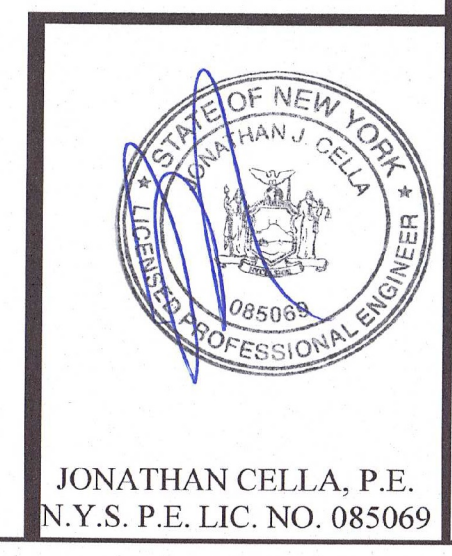
PROPOSED HOURS OF OPERATION FOR FUTURE GAS PUMPS

MONDAY TO FRIDAY	24 HOURS
SATURDAY AND SUNDAY	24 HOURS

PARKING REQUIREMENTS

- REQUIRED:**
 RETAIL: 1 SPACE / 150 S.F. STORE FLOOR AREA X 3,000 S.F. = 20 SPACES
- PROVIDED:** (15) 9'X18' PARKING SPACES
 (1) HANDICAPPED PARKING SPACES
 (2) EMPLOYEE PARKING
 (4) PARKING SPACES AT GAS PUMPS
 22 TOTAL PARKING SPACES

PROPOSED SITE PLAN
COMMERCIAL SITE PLAN
 PROPOSED STORE/MARKET & GAS STATION
 FOR: ANEL PYRAM
 18 COUNTY HWY 78 (S/B/L: 54 - 1 - 15)
 CITY OF MIDDLETOWN
 ORANGE COUNTY, NEW YORK



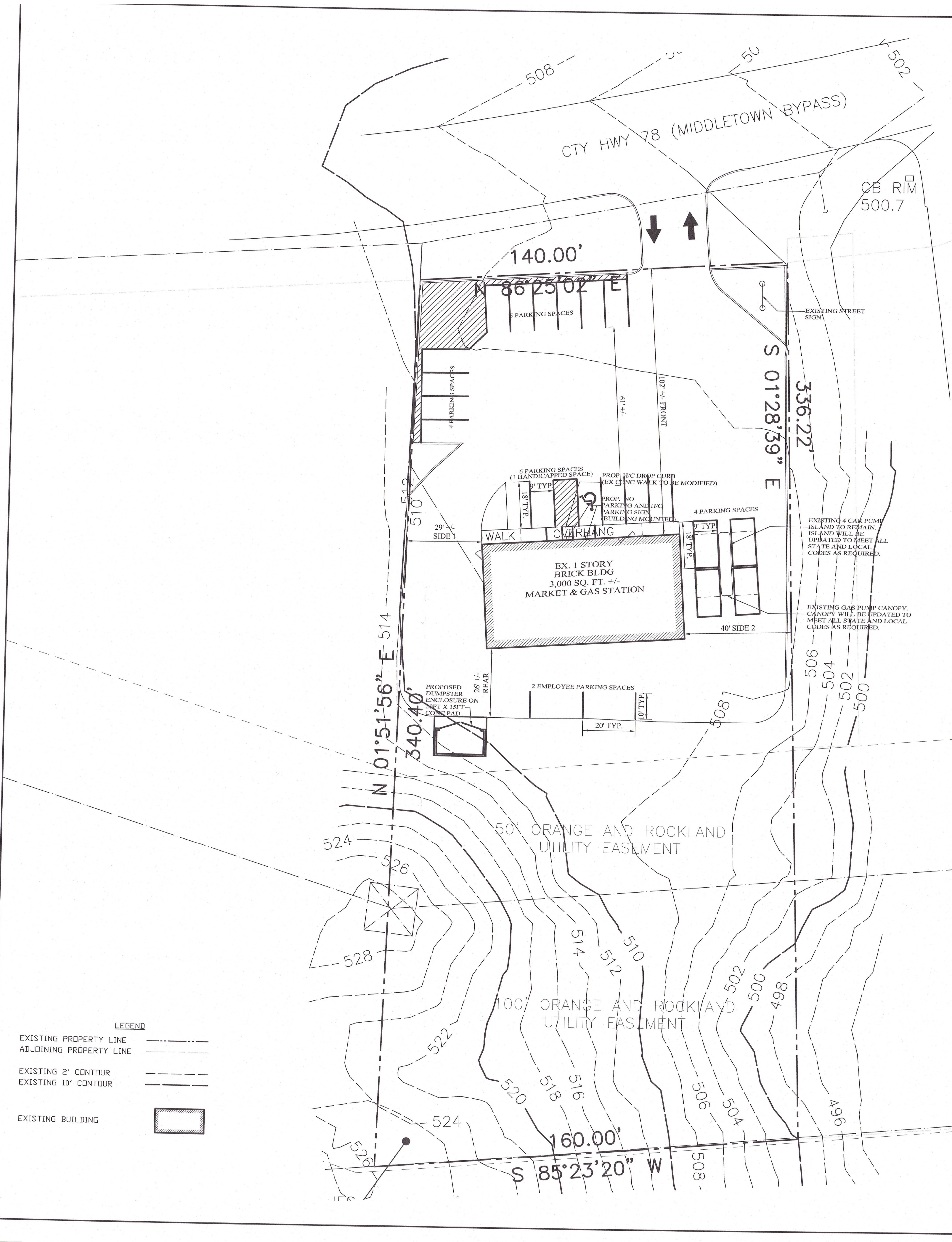
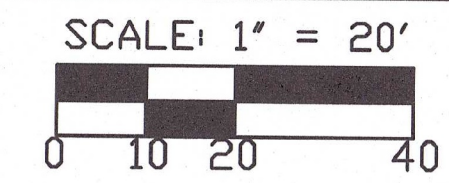
JONATHAN CELLA, P.E.
 51 HUNT ROAD
 WALLKILL, NEW YORK 12589
 (845) 741-0363
 jonathancellajr@gmail.com

DATE: 6/04/2024
 SCALE: AS NOTED
 REVISIONS:
 1. 10/22/2024: FOR PLANNING BOARD SUBMISSION

DRAWN BY: JJC
 SHEET NO.: 2 OF 5

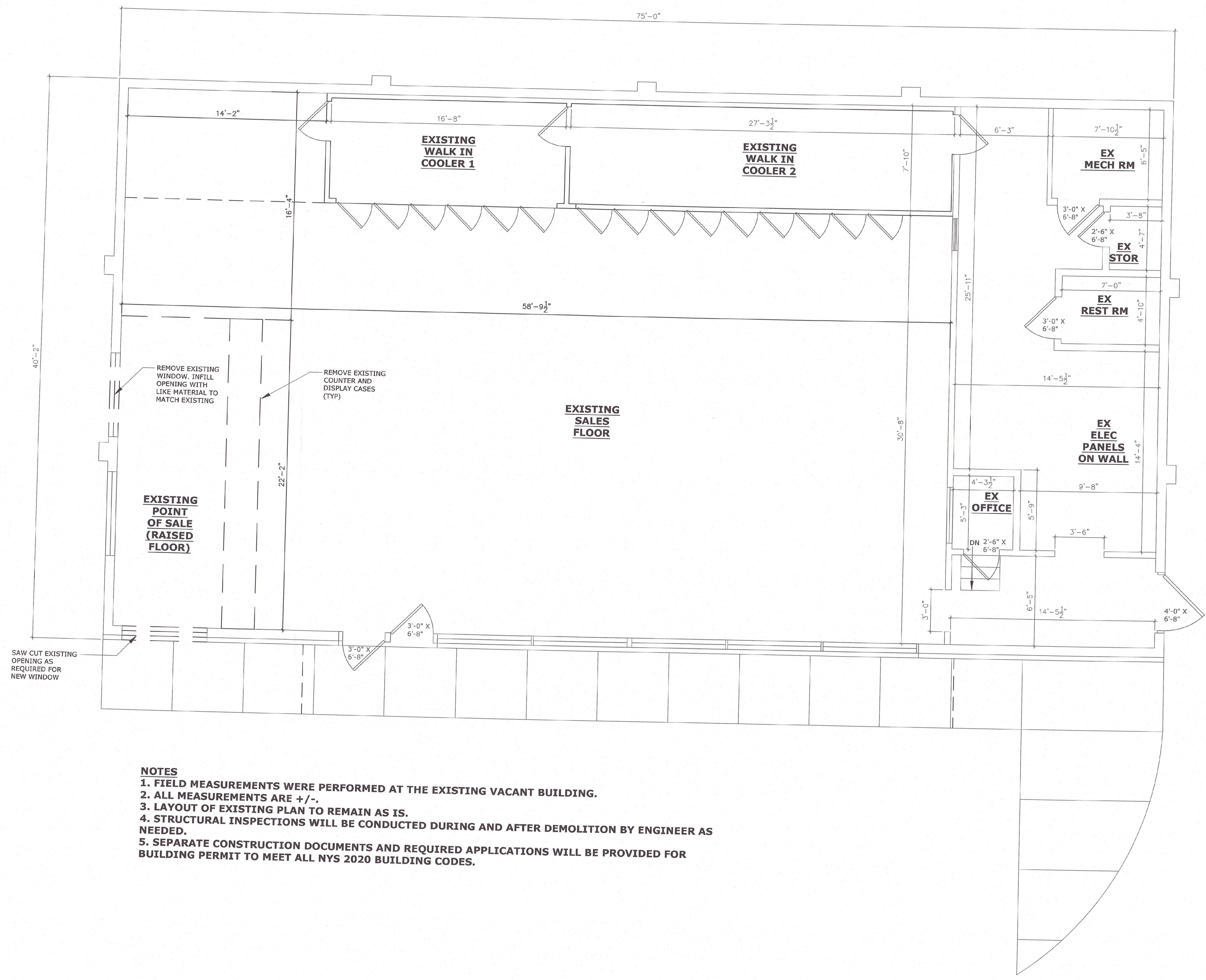
JONATHAN CELLA, P.E.
 N.Y.S. P.E. LIC. NO. 085609

PROPOSED SITE PLAN



LEGEND

EXISTING PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
EXISTING 2' CONTOUR	---
EXISTING 10' CONTOUR	---
EXISTING BUILDING	[Rectangle]



- NOTES**
1. FIELD MEASUREMENTS WERE PERFORMED AT THE EXISTING VACANT BUILDING.
 2. ALL MEASUREMENTS ARE +/-.
 3. LAYOUT OF EXISTING PLAN TO REMAIN AS IS.
 4. STRUCTURAL INSPECTIONS WILL BE CONDUCTED DURING AND AFTER DEMOLITION BY ENGINEER AS NEEDED.
 5. SEPARATE CONSTRUCTION DOCUMENTS AND REQUIRED APPLICATIONS WILL BE PROVIDED FOR BUILDING PERMIT TO MEET ALL NYS 2020 BUILDING CODES.

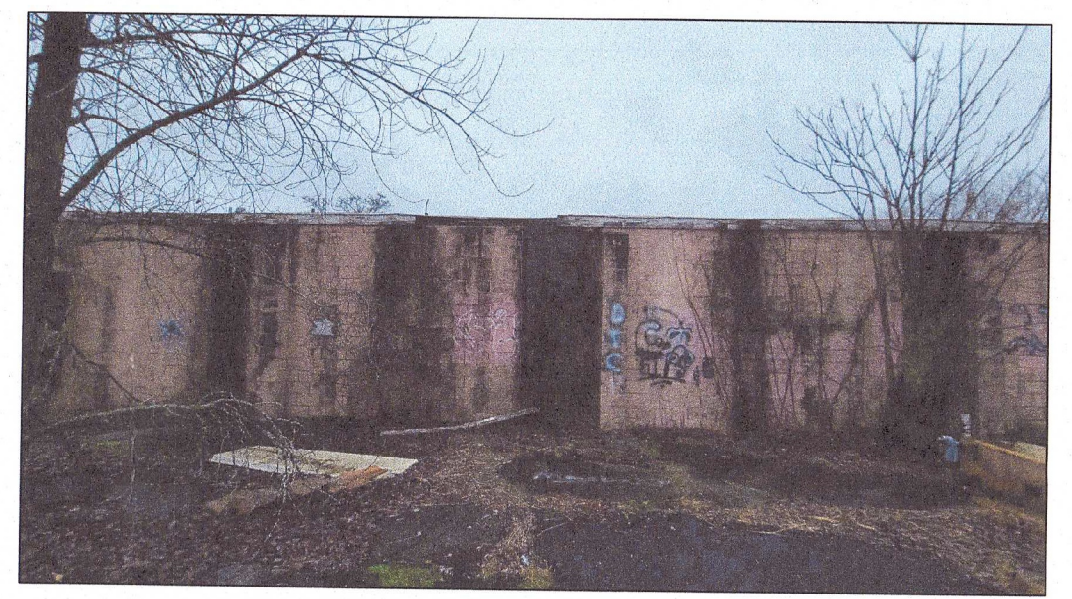
EXISTING FLOOR PLAN
Scale: 1/4" = 1'-0" TOTAL GROSS AREA: 3,000 SF +/-



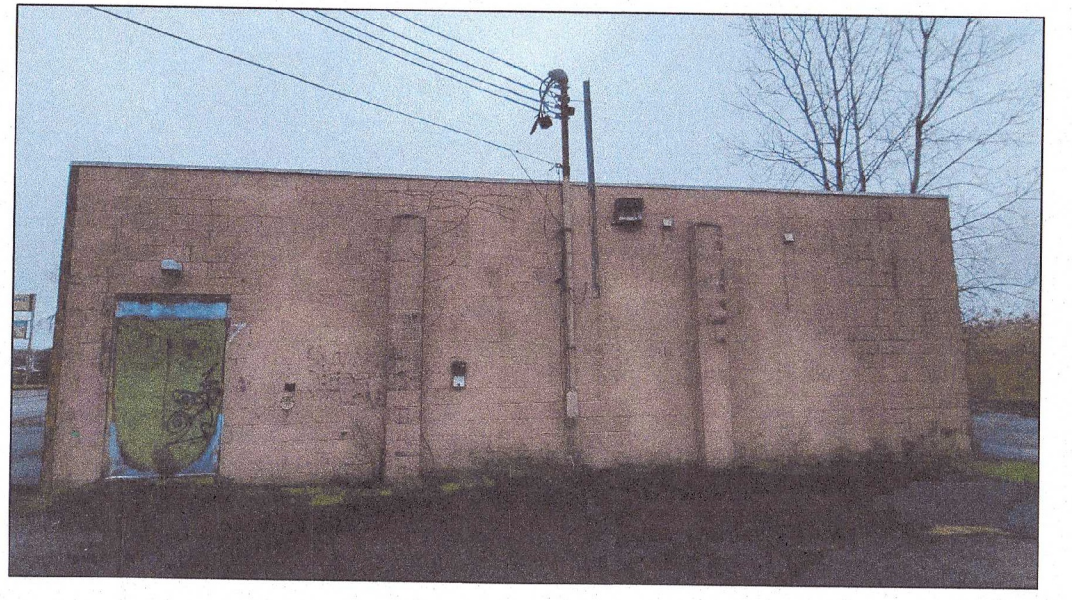
EXISTING FRONT ELEVATION



EXISTING LEFT SIDE ELEVATION



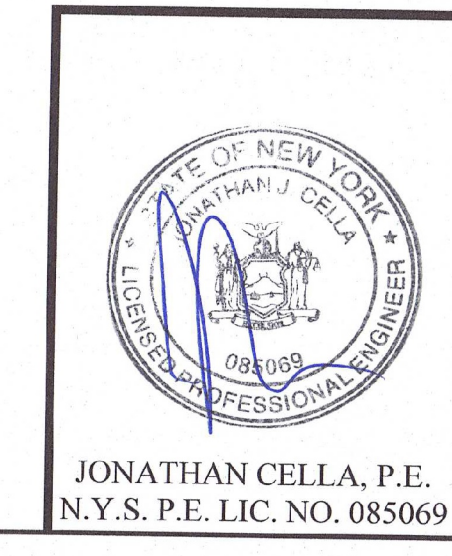
EXISTING REAR ELEVATION



EXISTING RIGHT SIDE ELEVATION

EXISTING FLOOR PLAN

PROPOSED STORE/MARKET & GAS STATION
FOR: ANEL PYRAM
18 COUNTY HWY 78 (S/B/L: 54 - 1 - 15)
CITY OF MIDDLETOWN
ORANGE COUNTY, NEW YORK



JONATHAN CELLA, P.E.
51 HUNT ROAD
WALKKILL, NEW YORK 12589
DATE: 6/04/2024
DRAWN BY: JJC

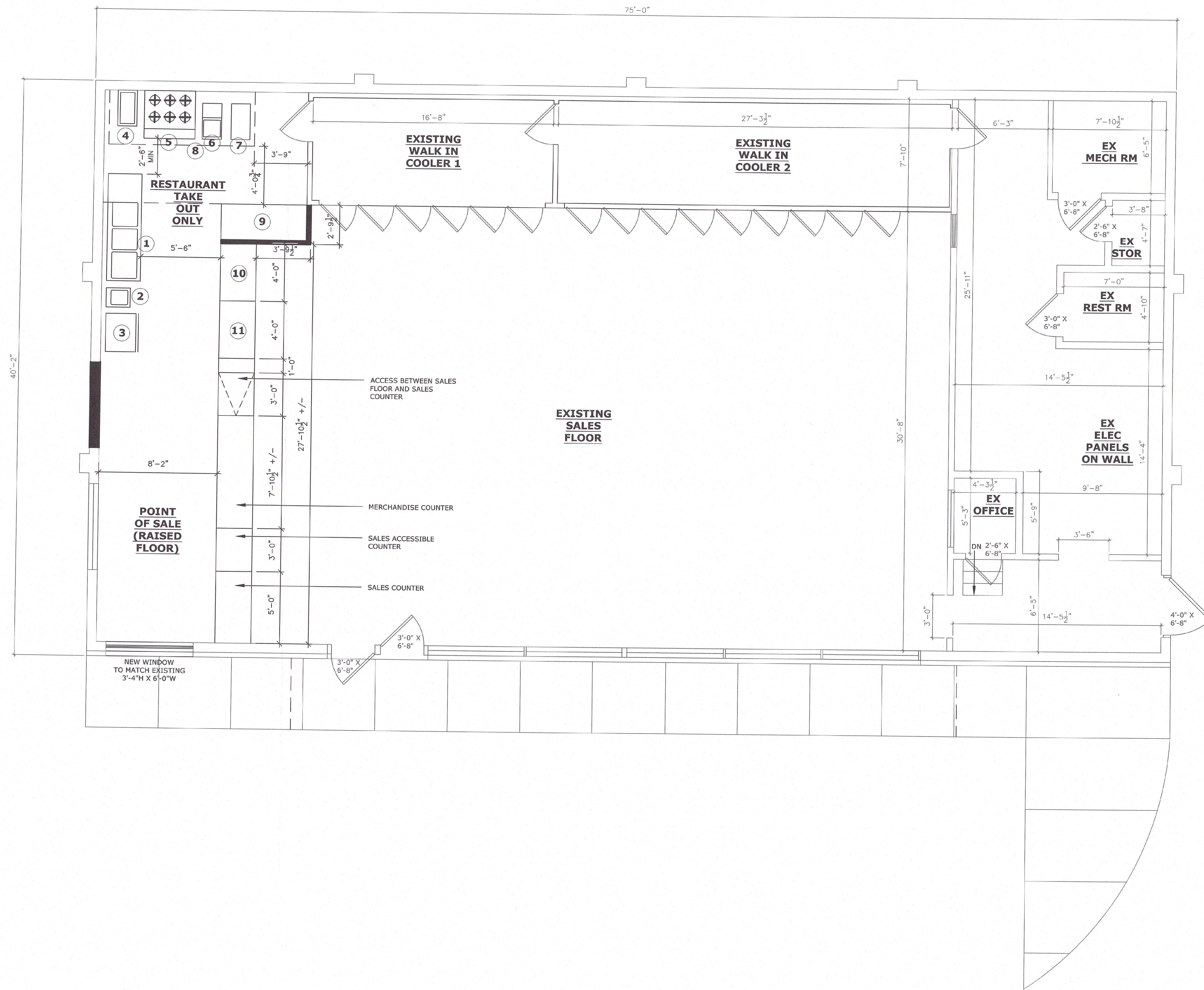
SCALE: AS NOTED
SHEET NO.: 4 OF 5

REVISIONS:
1. 10/22/2024 FOR PLANNING BOARD SUBMISSION

JONATHAN CELLA, P.E.
N.Y.S. P.E. LIC. NO. 085069

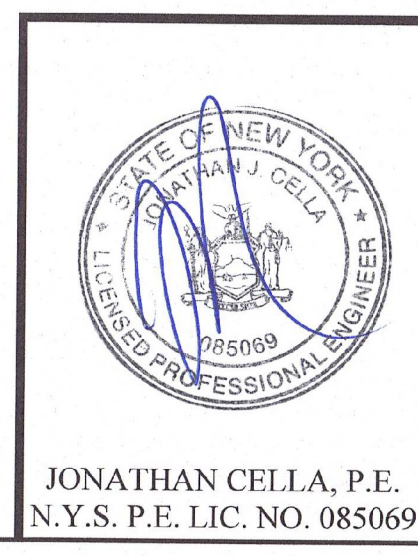
Date: OCT-9-2025

Drawing Number: A-6



- EQUIPMENT SCHEDULE**
- ① 3 BOWL SINK AND DRYING AREA
 - ② HAND WASH SINK
 - ③ REACH IN REFRIDGERATOR
 - ④ GRILL
 - ⑤ 6 BURNER STOVE
 - ⑥ DEEP FRYER
 - ⑦ GRIDDLE
 - ⑧ RANGE HOOD
 - ⑨ FOOD PREP TABLE
 - ⑩ COLD FOOD DISPLAY CASE
 - ⑪ HOT FOOD DISPLAY CASE

PROPOSED FLOOR PLAN
 Scale: 1/4" = 1'-0" TOTAL GROSS AREA: 3,000 SF +/-



JONATHAN CELLA, P.E.
 N.Y.S. P.E. LIC. NO. 085069

PROPOSED FLOOR PLAN		
PROPOSED STORE/MARKET & GAS STATION FOR: ANEL PYRAM 18 COUNTY HWY 78 (S/B/L: 54 - 1 - 15) CITY OF MIDDLETOWN ORANGE COUNTY, NEW YORK		
JONATHAN CELLA, P.E. 51 HUNT ROAD WALKKILL, NEW YORK 12589		
DATE: 6/04/2024	(845) 741-0363 jonathancellla@hotmail.com	DRAWN BY JJC
SCALE: AS NOTED		SHEET NO. : 5 OF 5
REVISIONS: 1. 10/22/2024: FOR PLANNING BOARD SUBMISSION		

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

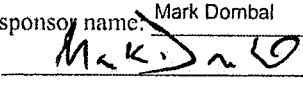
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Dewitt Acquisitions			
Project Location (describe, and attach a location map): 18 County Route 78, Middletown, NY 10940			
Brief Description of Proposed Action: Reopen former gas station by installing new underground storage tanks, dispensers, canopy, repurpose existing ID/price sign, and renovate exterior and interior of the existing building			
Name of Applicant or Sponsor: Mark Dombal		Telephone: (845)206-1453 E-Mail: marksnk@outlook.com	
Address: 26 Mill Plain Road, 2nd Floor			
City/PO: Danbury		State: CT	Zip Code: 06811
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		1.1611 acres	
b. Total acreage to be physically disturbed?		0.0892 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.1611 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ V00289 and 336029 see attached	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Mark Dombal Date: September 04, 2025
Signature: 

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT



**CITY OF MIDDLETOWN, NEW YORK
PLANNING BOARD
RECORD OF VOTE**

THE FOLLOWING WAS PRESENTED

By: None
 Seconded by: None
 Date of Adoption: November 5, 2025
 Resolution Number

Names	Ayes	Noes	Abstain	Absent
Mr. Madden				
Mr. McCormack				
Mr. Britto				
Mrs. Witt				
Mrs. Dupre				
Mr. Higbie				
Chairman Cappozella				
Total				

Filed with the Clerk of the City of Middletown on: November 5, 2025

Richard P. McCormack

Request of Action Toward Independence Inc., for a special use permit and site plan approval in order to have offices for various peer counseling services and educational support, located at 301-307 North Street, Middletown

WHEREAS, Action Toward Independence Inc., filed an application with the Planning Board of the City of Middletown seeking a special use permit and site plan approval in order to have offices for various peer counseling services and educational support, located at 301-307 North Street, Middletown. Section 17, Block 3, Lot 51.1, located in the I-2 Zone which is a nonconforming use.

WHEREAS, after due notice public hearing was held by the Planning Board on November 5, 2025 at 7:00 p.m. in the Common Council Chambers, City Hall, Middletown, New York, and

WHEREAS, at said hearing all those who desired to be heard were heard and their testimony recorded, and all testimony has been carefully considered.

NOW THEREFORE BE IT RESOLVED that the Planning Board of the City of Middletown hereby approves the application of Action Toward Independence, Inc., for a special use permit and site plan approval for offices for various peer counseling services and educational support,

located at 301-307 North Street, Middletown.

Hours of operation are Monday to Friday 9:00 a.m. to 7:00 p.m.

SUBJECT TO: City of Middletown DPW and City of Middletown Fire Department inspections and approvals and, when necessary, approval of the Commissioner of Public Works.

The applicant will obtain all necessary permits and follow the permitting process, codes, and ordinances of the City of Middletown, County of Orange, and the State of New York, if applicable.

In addition, if throughout any of the review process the project is deemed to require Bulk Requirement Tables, the applicant will supply said tables through an architect or engineer licensed in the State of New York.

SUBJECT TO: Any items as stated in: submitted PB application, Public Hearing, Board discussion, City Inspectors' input, PB Engineer, and PB Attorney's recommendations.

Information submitted within the application will become part of the record, and the applicant will follow through and be held to.

THEREFORE: The applicant is only allowed to use the space as designated in the application and resolution. Any changes in building structure and/or use, applicant will need to seek PB approval, if applicable.

WHEREAS, Pursuant to the City of Middletown Code, Chapter 475, Article 4, Administration and Enforcement, Chapter 475-53, Paragraph E-6, unless work is commenced and diligently prosecuted within six months and completed within two years of the date of granting a Special Use Permit, such Special Use Permit shall be null and void.

If no work is done in the next six months, the applicant will need to submit a request for a six-month extension of the Planning Board approval.

Prepared by:

Attachments:

1.	301-307 north
----	---------------

APPLICATION
PLANNING BOARD
City of Middletown, New York

Date deemed complete _____
Accepted by _____

Date _____

Items 1, 2 and 3 are required to be completed

1. Address of Subject Property 301 - 307 North Street #305, Middletown, NY 10940

Section 17 Block 3 Lot 51.1 Current Zoning District I-2

Building Existing X New _____

2. Owner of Property Keck Properties, LLC

Owner's Address 314 S Route 94, Building 2

City Warwick State NY Zip 10990

Phone numbers: Home: _____

Business: (845) 988-5757

Cell: _____

3. Applicant name Action Toward Independence, Inc.

If different from Owner

Applicants Address 309 E Broadway, Suite A

City Monticello State NY Zip 12701

Phone numbers: Home: _____

Business: 845)-794-4228

Cell: _____

Fax: _____

Answer 4, 5 or 6

4. **Special Use Permits/Site Plan Approval.** An approval for a special use permit and/or site plan approval is hereby requested. In the space provided indicate the section(s) and classification(s) of the occupancy for which you are seeking a special use permit. Included all uses which are currently or will be in the subject property. All dimensions shall be listed in the space provided. Refer to the tables at the rear of the Zoning Ordinance for requirements in UR-3, SR-3, SR-3A and SR-3B districts. Additional sheets may be attached if required.

Section # 475-25 B (27) (j)

Classification of Occupancy requested Business - NFP Office and training and skill development

Description of what you are requesting: Conducting various peer counseling services (individual and group) and educational support.

Uses currently in property: _____

Proposed lease area was previously used by as an office of Catholic Charities of Orange, Sullivan, and Ulster (counseling and other services provided by a NFP).

Title	Section Number	Required Dimensions	Actual Dimensions
Lot area	N/A		
Front yard			
Rear yard			
Side yard			
Side yard			
Parking			

Answer this section only for multiple dwellings

Lot coverage N/A

Building height _____

Open Space _____

Playlot _____

Livable floor area _____

Number of Bedrooms _____

7. Sign at the Place Indicated

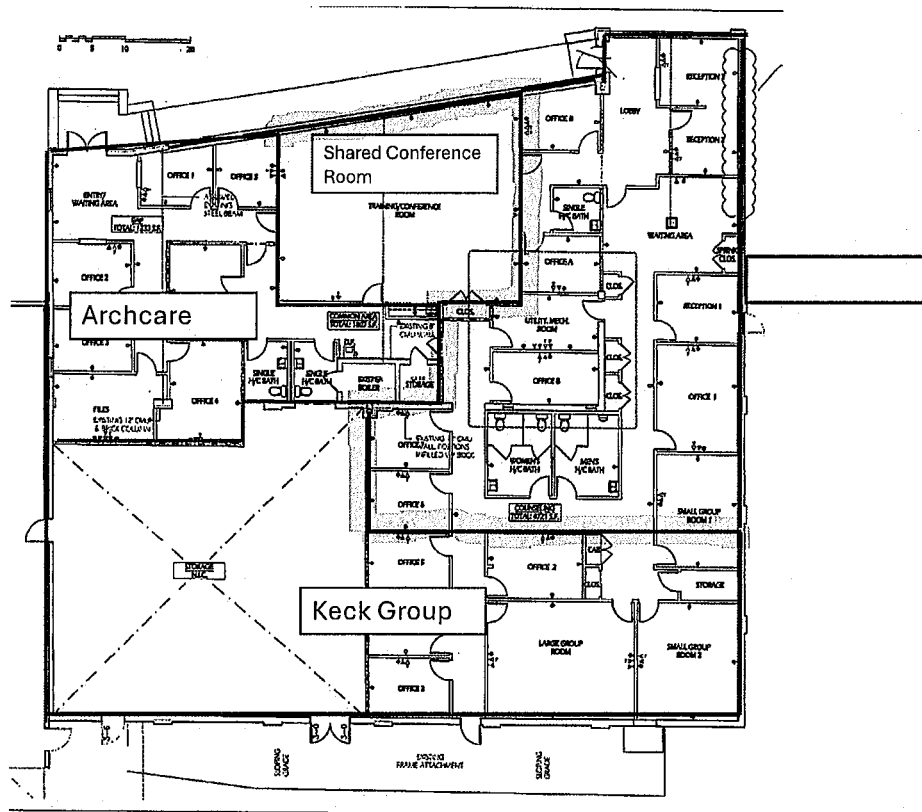
Signature: Deborah L Worden, Deborah L Worden

Printed Name and Title: Executive Director

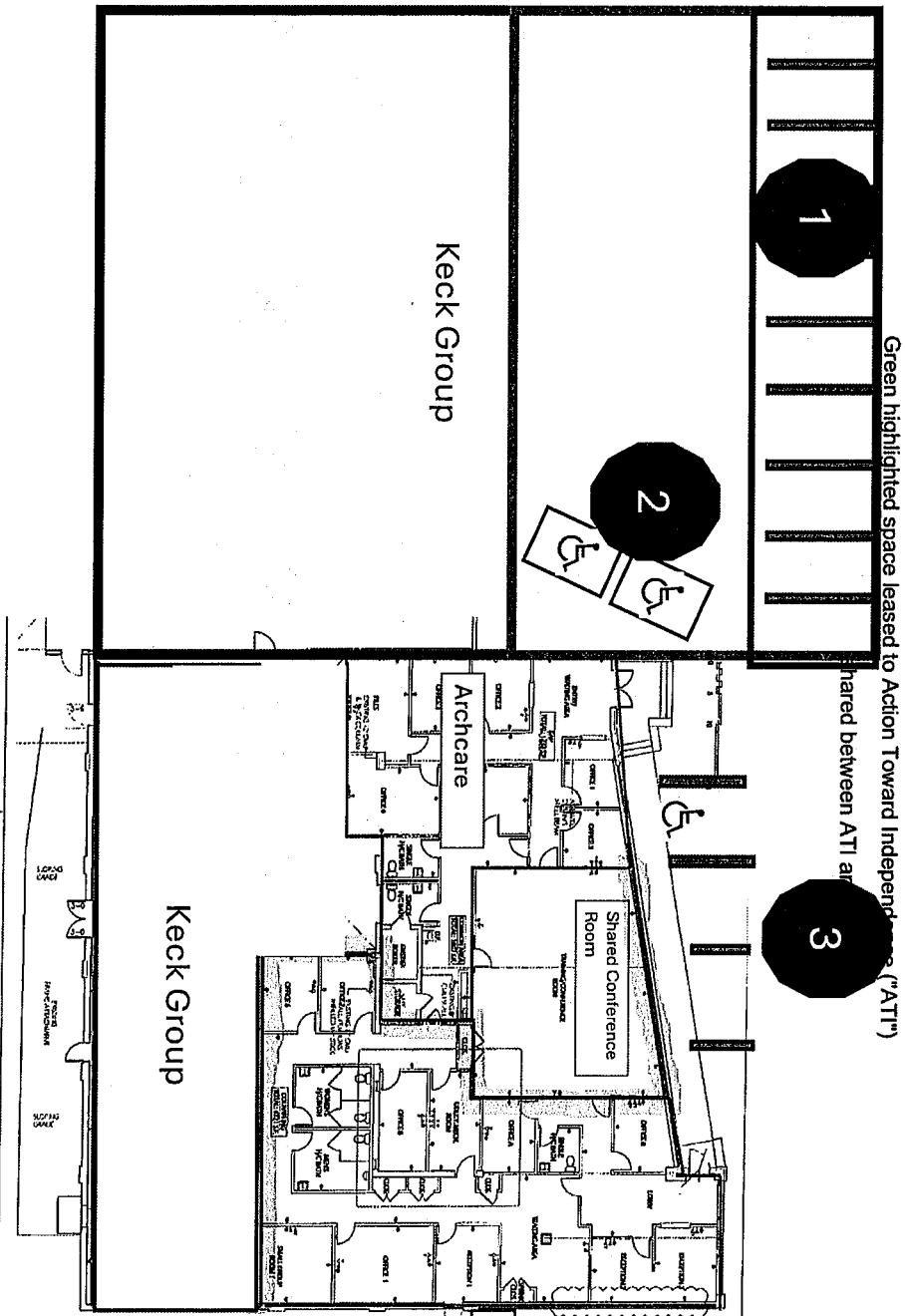
Date: Sept 17, 2025

Green highlighted space leased to Action Toward Independence ("ATI")

Common area/conference room shared between ATI and Archcare



- Section 1:**
14 Parking spaces in front of parking lot, in fenced in area, along road.
- Section 2:**
2 Handicap spaces within fenced in area alongside building
- Section 3:**
1 Handicap and 4 spaces in front of building (configurable)



OWNER'S ENDORSEMENT

COUNTY OF ORANGE
STATE OF NEW YORK

Robert Koek Jr

being duly sworn, deposes and says that

he/she resides at 1 Jackson Hole, Unit 1, Vernon, NJ 07462

in the County of Sussex and State of NJ and that he/she is the

owner in fee or Vice President of the Koek Properties
OFFICIAL TITLE

Corporation which is the owner in fee of the premises described in the foregoing application and that

he/she has authorized Action Toward Independence to make the foregoing

application for approval as described herein.

Sworn before me this 16th day of September 2025

Susan Cummings
Notary Public

[Signature]

OWNER'S SIGNATURE

SUSAN CUMMINGS
Notary Public - State of New York
No. 01CU6225383
Qualified in Orange County
My Commission Expires July 19, 2026



**CITY OF MIDDLETOWN, NEW YORK
PLANNING BOARD
RECORD OF VOTE**

THE FOLLOWING WAS PRESENTED

By: None
 Seconded by: None
 Date of Adoption: November 5, 2025
 Resolution Number

Names	Ayes	Noes	Abstain	Absent
Mr. Madden				
Mr. McCormack				
Mr. Britto				
Mrs. Witt				
Mrs. Dupre				
Mr. Higbie				
Chairman Cappozella				
Total				

Filed with the Clerk of the City of Middletown on: November 5, 2025

Richard P. McCormack

Request of Kimberly Serrano for a special use permit and site plan approval in order to have a café serving coffee and pressed sandwiches, located at 6-8 North Street, Middletown

WHEREAS, Kimberly Serrano filed an application with the Planning Board of the City of Middletown seeking a special use permit and site plan approval in order to have a café serving coffee, pastries and pressed sandwiches, located at 6-8 North Street, Middletown. Section 31, Block 10, Lot 9, located in the DMU Zone which is a permitted use.

WHEREAS, after due notice public hearing was held by the Planning Board on November 5, 2025 at 7:00 p.m. in the Common Council Chambers, City Hall, Middletown, New York, and

WHEREAS, at said hearing all those who desired to be heard were heard and their testimony recorded, and all testimony has been carefully considered.

NOW THEREFORE BE IT RESOLVED that the Planning Board of the City of Middletown hereby approves the application of Kimberly Serrano for a special use permit and site plan approval for a café serving coffee, pastries and pressed sandwiches, located at 6-8 North Street, Middletown.

Hours of operation are 7:00 a.m. to 10:00 p.m. daily.

SUBJECT TO: City of Middletown DPW and City of Middletown Fire Department inspections and approvals and, when necessary, approval of the Commissioner of Public Works.

The applicant will obtain all necessary permits and follow the permitting process, codes, and ordinances of the City of Middletown, County of Orange, and the State of New York, if applicable.

In addition, if throughout any of the review process the project is deemed to require Bulk Requirement Tables, the applicant will supply said tables through an architect or engineer licensed in the State of New York.

SUBJECT TO: Any items as stated in: submitted PB application, Public Hearing, Board discussion, City Inspectors' input, PB Engineer, and PB Attorney's recommendations.

Information submitted within the application will become part of the record, and the applicant will follow through on and to be held to.

THEREFORE: The applicant is only allowed to use the space as designated in the application and resolution. Any changes in building structure and/or use, applicant will need to seek PB approval, if applicable.

WHEREAS this application is located in the DMU Zone, applicants must submit and receive approval from the Department of Public Works according to Chapter 407 Solid Waste, Article II Collection, §407-3, Collection, and comply with this section and any other sections enacted by the Common Council from this date forward.

WHEREAS this application is located in the DMU Zone, applicants must submit and receive approval on all façade work, exterior work in general and exterior signage from the Architectural Review Board.

WHEREAS this application is located in the DMU Zone the Planning Board waives parking requirements as per the code.

WHEREAS, Pursuant to the City of Middletown Code, Chapter 475, Article 4, Administration and Enforcement, Chapter 475-53, Paragraph E-6, unless work is commenced and diligently prosecuted within six months and completed within two years of the date of granting a Special Use Permit, such Special Use Permit shall be null and void.

If no work is done in the next six months, the applicant will need to submit a request for a six-month extension of the Planning Board approval.

Prepared by:

Attachments:

1.	6-8 north
----	-----------

APPLICATION

PLANNING BOARD

City of Middletown, New York

Date deemed complete _____
Accepted by _____

Date 10/9/25

Items 1, 2 and 3 are required to be completed

1. Address of Subject Property 6-8 North St.
Section 31 Block 10 Lot 9 Current Zoning District DMU

Building Existing _____ New _____

2. Owner of Property Alex Smith

Owner's Address 6 North St

City Middletown State NY Zip 10940

Phone numbers: Home: (845)

Business: _____

Cell: _____

3. Applicant name Kimberly Serrano

If different from Owner

Applicants Address 6 Dewitt St.

City Middletown State NY Zip 10940

Phone numbers: Home: (845) 741-2241

Business: _____

Cell: _____

Fax: _____

Answer 4, 5 or 6

4. **Special Use Permits/Site Plan Approval.** An approval for a special use permit and/or site plan approval is hereby requested. In the space provided indicate the section(s) and classification(s) of the occupancy for which you are seeking a special use permit. Included all uses which are currently or will be in the subject property. All dimensions shall be listed in the space provided. Refer to the tables at the rear of the Zoning Ordinance for requirements in UR-3, SR-3, SR-3A and SR-3B districts. Additional sheets may be attached if required.

Section # _____

Classification of Occupancy requested Cafe

Description of what you are requesting: Cafe serving

coffee and pressed sandwiches, AS

well as pre baked pastries, 7AM-10PM daily

7. Sign at the Place Indicated

Signature: _____

Printed Name and Title: _____

Date: _____

Kimberly Serrano
Kimberly Serrano Owner
10.9.25

OWNER'S ENDORSEMENT

COUNTY OF ORANGE
STATE OF NEW YORK

Alex Smith being duly sworn, deposes and says that

he/she ~~resides at~~ is the owner of 6 North Street, Middletown

in the County of Orange and State of New York and that he/she is the

owner in fee or _____ of the this property,
OFFICIAL TITLE

described in the foregoing application and
~~Corporation which is the owner in fee of the premises described in the foregoing application and that~~

he/she has authorized Kimberly Serrano to make the foregoing

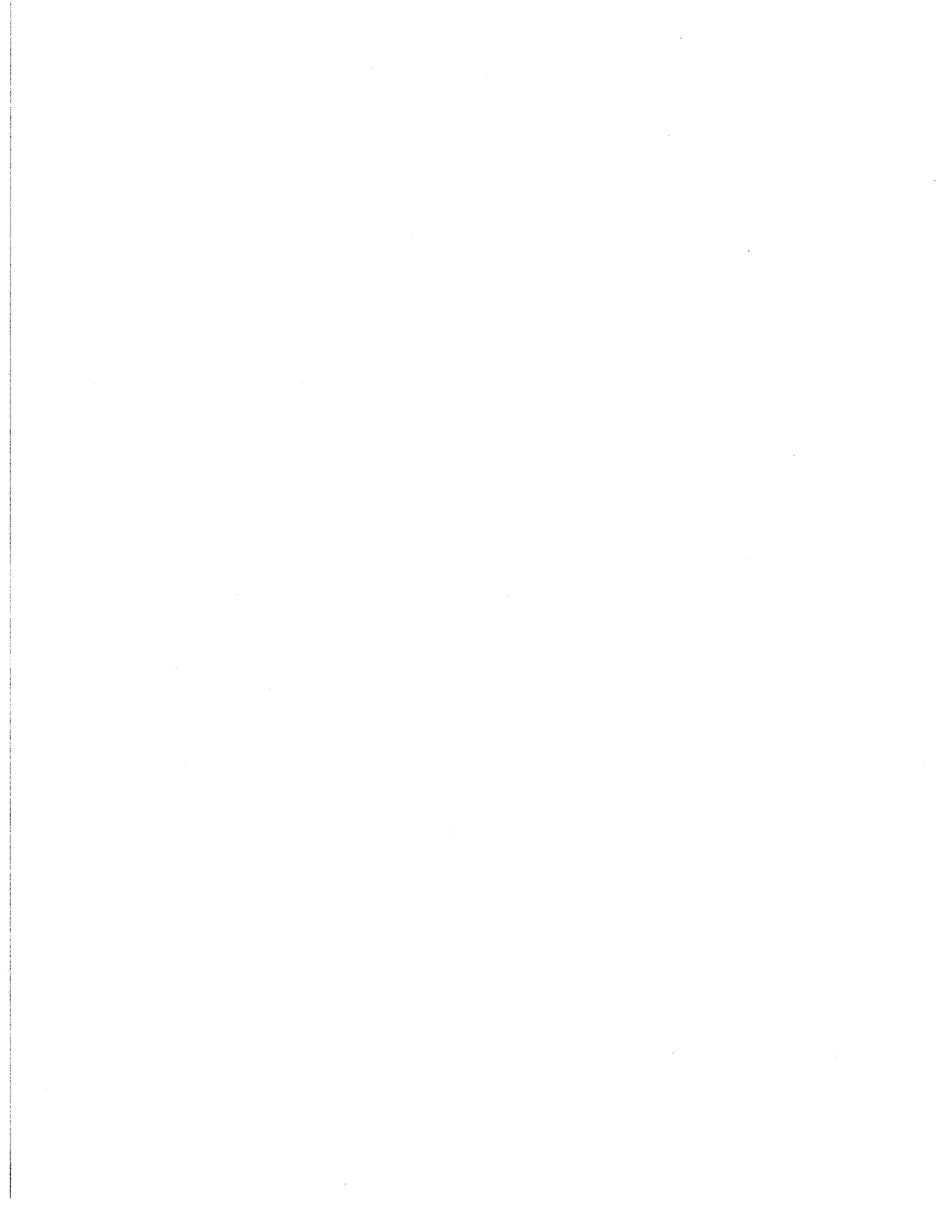
application for approval as described herein.

Sworn before me this 16th day of October 2025

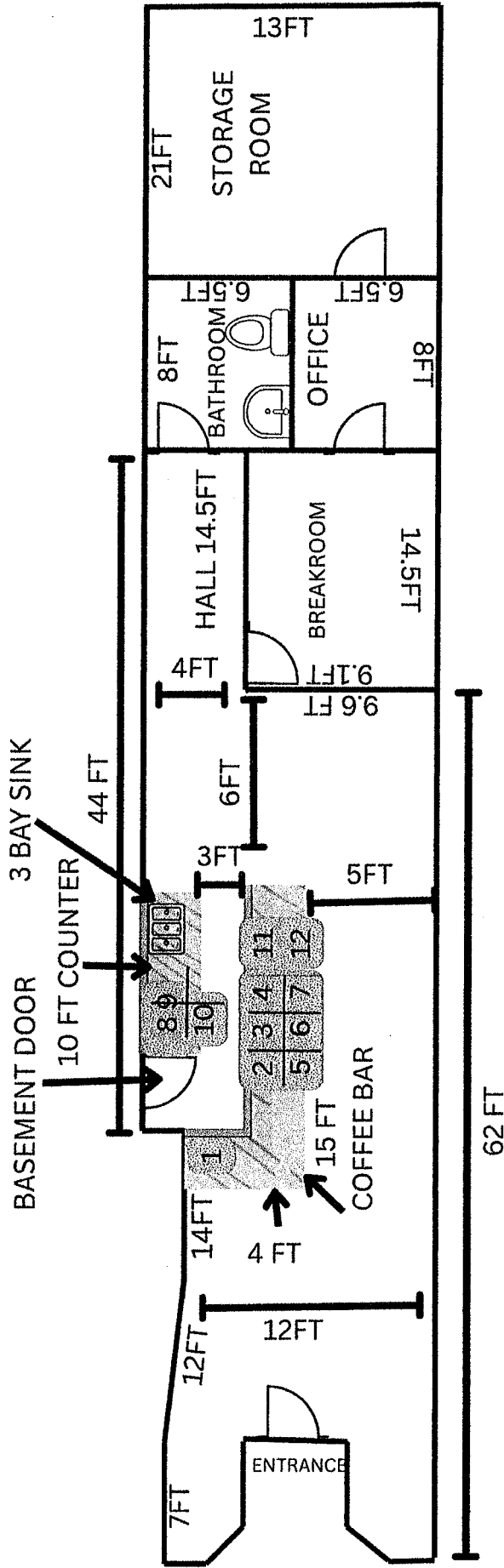
Linda C Vanderbeck
Notary Public

Alex Smith
OWNER'S SIGNATURE

LINDA C. VANDERBECK
Notary Public, State of New York
No. 01VA4953669
Qualified in Ulster County
Commission Expires July 24, 2027



KIMBERLY SERRANO
8 NORTH STREET FLR 1



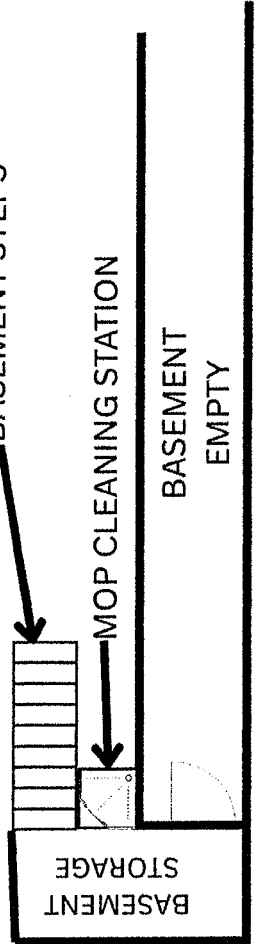
ON TOP COUNTER

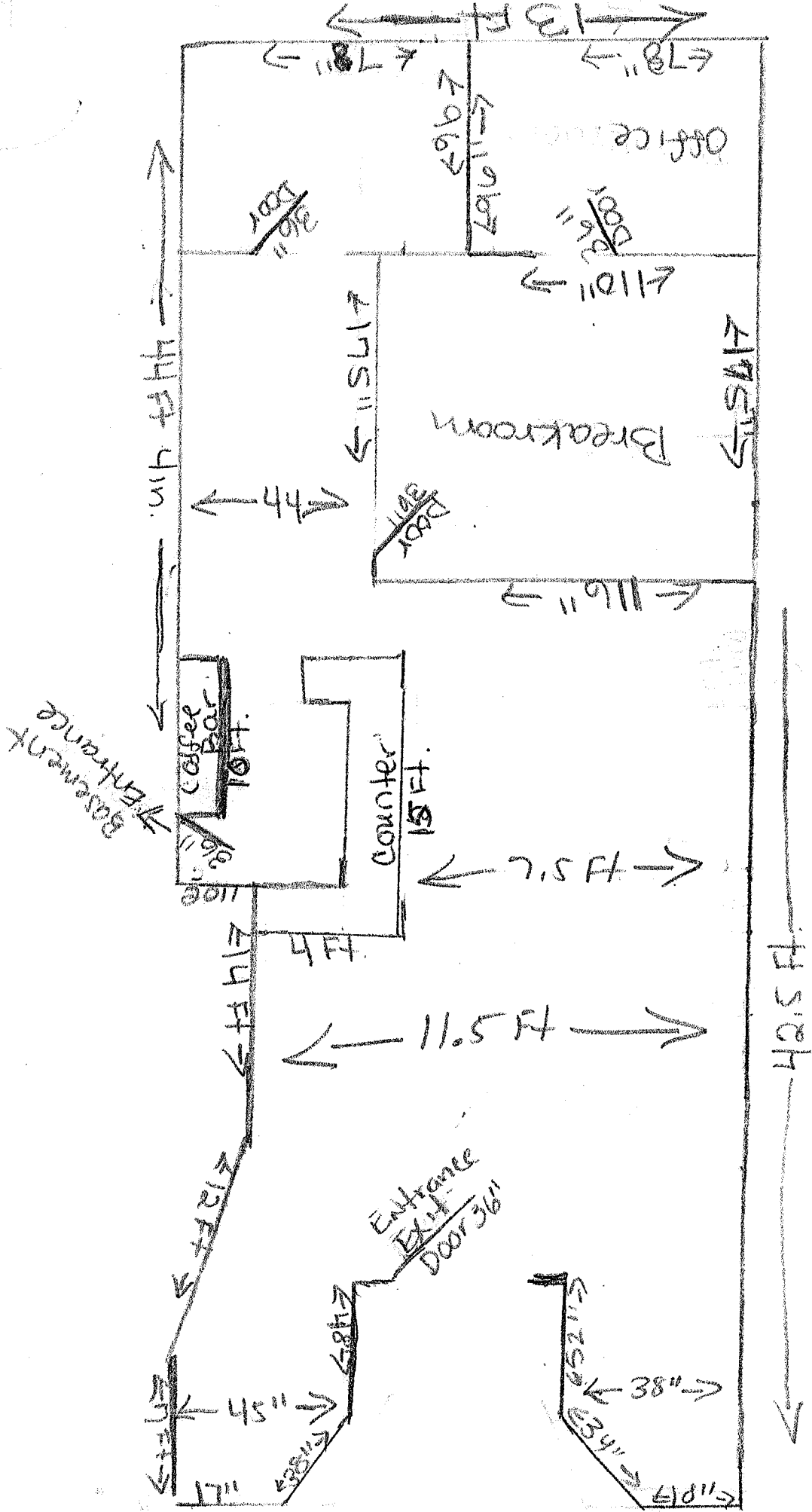
- 1-CASH REGISTER
- 2-ESPRESSO MACHINE
- 3-COFFEE GRINDER
- 4-BLENDER
- 8-PANINI PRESS
- 9-TOASTER OVEN
- 11-NITRO SYSTEM

UNDER COUNTER

- 5-ICE BIN
- 6,7- REFRIGERATORS
- 10-REFRIGERATOR
- 12-NITRO SYSTEM FRIDGE

BASEMENT STEPS





Cafe con Amor Jibaro
 Kimberly Serrano

8 North St.
 Middletown NY



**CITY OF MIDDLETOWN, NEW YORK
PLANNING BOARD
RECORD OF VOTE**

THE FOLLOWING WAS PRESENTED

By: None
 Seconded by: None
 Date of Adoption: November 5, 2025
 Resolution Number

Names	Ayes	Noes	Abstain	Absent
Mr. Madden				
Mr. McCormack				
Mr. Britto				
Mrs. Witt				
Mrs. Dupre				
Mr. Higbie				
Chairman Cappozella				
Total				

Filed with the Clerk of the City of Middletown on: November 5, 2025

Richard P. McCormack

Request of Latisha Mapp for a special use permit and site plan approval in order to have a retail store, located at 23-27 West Main Street, Middletown

Latisha Mapp filed an application with the Planning Board of the City of Middletown seeking a special use permit and site plan approval in order to have a retail store (retailing and making various hair products), located at 23-27 West Main Street, Middletown. Section 31, Block 10, Lot 15, located in the DMU Zone which is a permitted use.

WHEREAS, after due notice public hearing was held by the Planning Board on November 5, 2025 at 7:00 p.m. in the Common Council Chambers, City Hall, Middletown, New York, and

WHEREAS, at said hearing all those who desired to be heard were heard and their testimony recorded, and all testimony has been carefully considered.

NOW THEREFORE BE IT RESOLVED that the Planning Board of the City of Middletown hereby approves the application of Latisha Mapp for a special use permit and site plan approval for a retail store, located at 23-27 West Main Street, Middletown.

Hours of operation are Monday to Friday 9:00 a.m. to 8:00 p.m., Saturday and Sunday 10:00

a.m. to 9:00 p.m.

SUBJECT TO: City of Middletown DPW and City of Middletown Fire Department inspections and approvals and, when necessary, approval of the Commissioner of Public Works.

The applicant will obtain all necessary permits and follow the permitting process, codes, and ordinances of the City of Middletown, County of Orange, and the State of New York, if applicable.

In addition, if throughout any of the review process the project is deemed to require Bulk Requirement Tables, the applicant will supply said tables through an architect or engineer licensed in the State of New York.

SUBJECT TO: Any items as stated in: submitted PB application, Public Hearing, Board discussion, City Inspectors' input, PB Engineer, and PB Attorney's recommendations.

Information submitted within the application will become part of the record, and the applicant will follow through on and to be held to.

THEREFORE: The applicant is only allowed to use the space as designated in the application and resolution. Any changes in building structure and/or use, applicant will need to seek PB approval, if applicable.

WHEREAS this application is located in the DMU Zone, applicants must submit and receive approval from the Department of Public Works according to Chapter 407 Solid Waste, Article II Collection, §407-3, Collection, and comply with this section and any other sections enacted by the Common Council from this date forward.

WHEREAS this application is located in the DMU Zone, applicants must submit and receive approval on all façade work, exterior work in general and exterior signage from the Architectural Review Board.

WHEREAS this application is located in the DMU Zone the Planning Board waives parking requirements as per the code.

WHEREAS, Pursuant to the City of Middletown Code, Chapter 475, Article 4, Administration and Enforcement, Chapter 475-53, Paragraph E-6, unless work is commenced and diligently prosecuted within six months and completed within two years of the date of granting a Special Use Permit, such Special Use Permit shall be null and void.

If no work is done in the next six months, the applicant will need to submit a request for a six-month extension of the Planning Board approval.

Prepared by:

Attachments:

1.	23-27 north1
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APPLICATION

PLANNING BOARD

City of Middletown, New York

Date deemed complete _____
Accepted by _____

Date _____

Items 1, 2 and 3 are required to be completed

1. Address of Subject Property 23-27 West Main St

Section 3 Block 10 Lot 15 Current Zoning District DMV

Building Existing New _____

2. Owner of Property KB Developers LLC

Owner's Address 6 Forest Ave

City Paramus State NJ Zip 07652

Phone numbers: Home: _____

Business: 845-201-881-0975

Cell: _____

3. Applicant name Latisha Mapp

If different from Owner

Applicants Address 413 Middletown PO BOX 413

City MIDDLETOWN State NY Zip 10940

Phone numbers: Home: (918) 912-0419

Business: _____

Cell: (845) 321-9214

Fax: _____

Answer 4, 5 or 6

4. **Special Use Permits/Site Plan Approval.** An approval for a special use permit and/or site plan approval is hereby requested. In the space provided indicate the section(s) and classification(s) of the occupancy for which you are seeking a special use permit. Included all uses which are currently or will be in the subject property. All dimensions shall be listed in the space provided. Refer to the tables at the rear of the Zoning Ordinance for requirements in UR-3, SR-3, SR-3A and SR-3B districts. Additional sheets may be attached if required.

Section # _____

Classification of Occupancy requested _____

Description of what you are requesting: Medical Wig, Hair Extension, Hair Topper, Hair Loss Accessories.

This Business is dedicated to Women with Cancer, Alopecia, Unexpected Hair Loss

Uses currently in property: Retailing & making various hair products. Hours of operation: 7 days/week M-F 9am-8pm Sat & Sun 10am-9pm

Title	Section Number	Required Dimensions	Actual Dimensions
Lot area			
Front yard			
Rear yard			
Side yard			
Side yard			
Parking			

Answer this section only for multiple dwellings

Lot coverage _____
Building height _____
Open Space _____
Playlot _____
Livable floor area _____
Number of Bedrooms _____

Signature: Latsha Mapp
Printed Name and Title: Latsha Mapp Jones
Date: 9/22/25

OWNERS ENDORSEMENT

COUNTY OF ORANGE
STATE OF NEW YORK

Maor Shelli being duly sworn, deposes and
says that he/she resides at 6 Forest Avenue, Ste. 205 Paramus, NJ 07652
in the County of Bergen and State of New Jersey and that he is the
owner in fee or Owner of the _____
OFFICIAL TITLE
KB Developers LLC Corporation which is the owner
in fee of the premises described in the foregoing application and that he has authorized
Latisha Mapp to make the foregoing application for
approval as described herein.

Sworn before me this 11th day of Oct. 2025

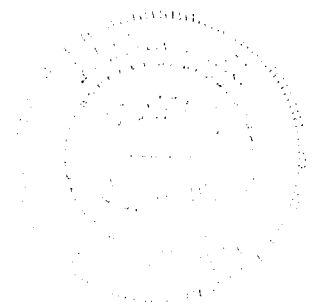
NOTARY PUBLIC OF NEW YORK
COMMISSION #0010841
MY COMMISSION EXPIRES 11/12/2028

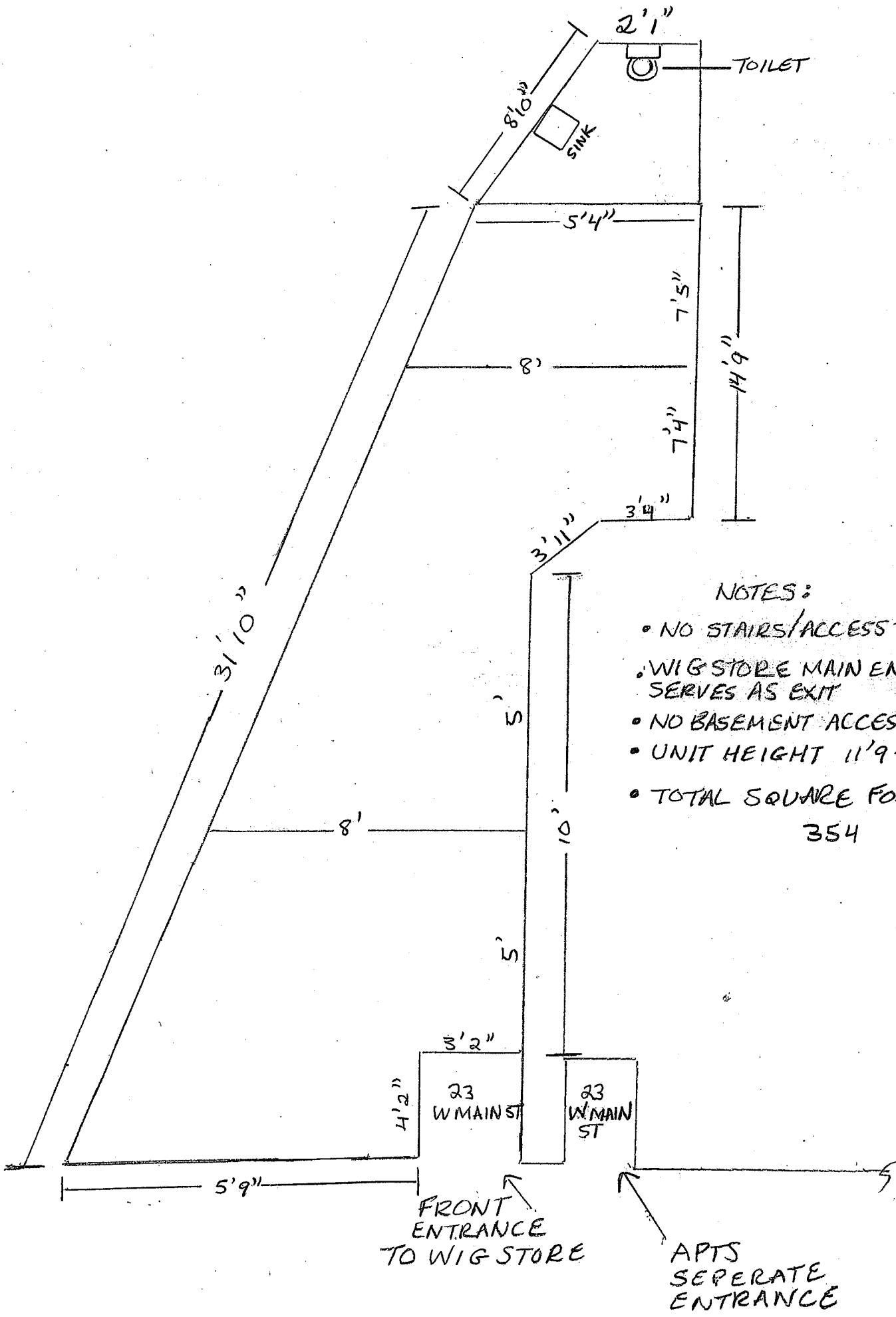
[Signature]
NOTARY PUBLIC

[Signature]
OWNERS SIGNATURE



CHAY KUN LU
YABAN...
IA...
...
...





NOTES:

- NO STAIRS/ACCESS TO APTS
- WIG STORE MAIN ENTRANCE SERVES AS EXIT
- NO BASEMENT ACCESS
- UNIT HEIGHT 11'9"
- TOTAL SQUARE FOOTAGE 354

